

City of Leawood
Planning Commission Agenda
April 23, 2019
Dinner Session – 5:30 p.m. – No Discussion of Items
Leawood City Hall – Main Conference Room
Meeting - 6:00 p.m.
4800 Town Center Drive
Leawood, KS 66211
913.339.6700 x 160

CALL TO ORDER/ROLL CALL:

McGurren, Hunter, Belzer, Hoyt, Elkins, Coleman, Block, Stevens, Peterson

APPROVAL OF THE AGENDA:

APPROVAL OF MINUTES:

Approval of minutes from the March 26, 2019 Planning Commission meeting.

NEW BUSINESS:

CASE 24-19 – THE MAJESTIC – INDEPENDENT LIVING FACILITY – Request for approval of a Preliminary Plan, Preliminary Plat, and Special Use Permit for an Independent Living Facility, located south of 137th Street and west of Mission Road. **PUBLIC HEARING**

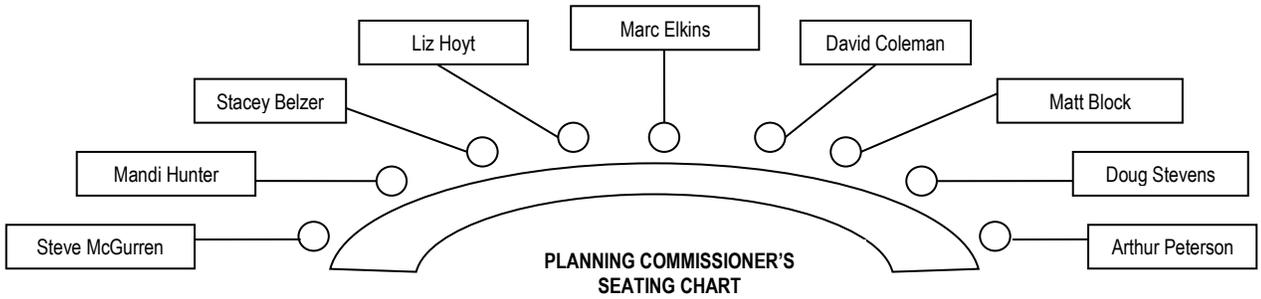
CASE 30-19 – CAMDEN WOODS CENTER – REVISED SIGN CRITERIA – Request for approval of a Revised Final Sign Plan, located south of 143rd Street and west of Kenneth Road.

CASE 31-19 – PARKWAY PLAZA – ADVANCED COSMETIC SURGERY MULTI-TENANT BUILDING – Request for approval of a Final Plan, located south of 134th Street and west of Roe Avenue.

ADJOURN REGULAR MEETING:

Meetings will end at 9:00 p.m. unless the Commission votes to extend the meeting for a period of thirty (30) minutes. An additional thirty (30) minute extension, for a maximum of two (2) extensions, may be voted by the Commission members.

LEAWOOD PLANNING COMMISSION



The Leawood Planning Commission is a nine member non-partisan body whose members are appointed by the Mayor and confirmed by the Governing Body.

The Planning Commission prepares the Comprehensive Plan that is used as a general guide for the development of the community. The Comprehensive Plan is reviewed and updated annually as part of the commission's ongoing process of evaluating trends and patterns. The Commission also reviews all zoning, special use permit, and site plan and plat applications prior to making recommendations to the governing body for final action.

The regular scheduled public meetings of the Planning Commission are held at 6:00 PM on the fourth Tuesday of each month in the City Council chambers, 4800 Town Center Drive. The Commission may also conduct a study session followed by a meeting on the second Tuesday of each month.

Anyone wishing to appear on the Planning Commission agenda or study session agenda should contact Planning Services at (913) 339-6700.

REZONING AND SPECIAL USE PERMIT PROCEDURES FOR LEAWOOD, KANSAS

Newspaper publications: The city will be responsible for publishing the notice of public hearing in the official City newspaper not less than 20 days prior to the end of the public hearing.

Posting of the sign: Upon submission of the application, the City will supply the applicant with a sign to be posted on the property. The sign must be posted not less than 20 days prior to the public hearing.

Letters of notification: The applicant will be responsible for mailing notices by certified mail, return receipt requested, of the proposed zoning change to all land owners located within 200 feet of the area proposed to be altered. These notices must be sent a minimum of 20 days prior to the Planning Commission hearing.

Public hearing: The Planning Commission hears all zoning requests, hearing from the applicant and anyone in the audience wishing to speak for or against the proposal. The Commission will then make a recommendation for approval or denial to the City Council or continue the application to another Planning Commission agenda. The following is an outline of the public hearing process.

1. Staff summarization of comments and recommendations.
2. Applicant presentation and response to staff comments and recommendations.
3. Public Hearing
 - a. Anyone wishing to speak, either in favor or in opposition has an opportunity to speak.
 - b. It is appreciated if the speakers keep repetition to a minimum.
4. The applicant will have an opportunity to respond to points raised during the hearing.
5. Planning Commission discussion.
6. Motion and second by the Planning Commission.
7. Planning Commission discussion of motion.
8. Planning Commission vote on the motion.

Protest period: Certain property owners may file a petition protesting the application within 14 days after the close of the Planning Commission public hearing. The petition must be signed by the owners of record of 20% or more of any real property proposed to be rezoned, or by the owners of record of 20% or more of the total real property within the area required to be notified in Article 16-5-4.1 of the proposed zoning of specific property, excluding streets and public ways and property excluded pursuant to 16-5-4.3.

City Council Action: After the protest period has concluded, the application will be placed on an agenda for a City Council meeting. The Council may then take action on the proposal. The Council may approve the Planning Commission's recommendation, or it may amend and approve or remand the proposal to the Planning Commission for further consideration.

**City of Leawood
Planning Commission Meeting
March 26, 2019
Dinner Session – 5:30 p.m. – No Discussion of Items
Leawood City Hall – Main Conference Room
Meeting - 6:00 p.m.
Leawood City Hall Council Chambers
4800 Town Center Drive
Leawood, KS 66211
913.339.6700 x 160**

CALL TO ORDER/ROLL CALL: McGurren, Belzer, Hoyt, Coleman, Block, Stevens, and Peterson. Absent: Hunter, and Elkins.

Mr. Klein: We don't have a Planning Commission Chair or Vice Chair, so the first order of business is to elect a Chair Pro-Tem. I would ask if anybody has any nominations.

A motion to nominate Commissioner David Coleman for Chairman Pro-Tem for the March 26, 2019 Planning Commission meeting; seconded by Belzer. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

Mr. Klein: We will have an election of officers at the end of the meeting for Chair, Vice Chair, and Secretary.

Chairman Coleman: I'd like to introduce two new members of the Planning Commission: Steve McGurren and Art Peterson; welcome. Second is the approval of the agenda. Does staff have any changes?

Mr. Klein: No.

APPROVAL OF THE AGENDA

A motion to approve the agenda was made by Stevens; seconded by Hoyt. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

APPROVAL OF MINUTES: Approval of the minutes from the December 11, 2018 Planning Commission work session and February 26, 2019 Planning Commission meeting.

A motion to approve the minutes from the December 11, 2018 Planning Commission work session was made by Block; seconded by Hoyt. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

A motion to approve the minutes from the February 26, 2019 Planning Commission meeting was made by Block; seconded by Stevens. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

CONTINUED TO APRIL 23, 2019:

CASE 24-19 – THE MAJESTIC – INDEPENDENT LIVING FACILITY – Request for approval of a Preliminary Plan, Preliminary Plat, and Special Use Permit for an Independent Living Facility, located south of 137th Street and west of Mission Road.
PUBLIC HEARING

CONSENT AGENDA:

CASE 20-19 – MANFIELD MULTI-TENANT BUILDING – Request for approval of a Revised Final Plan, located south of 103rd Street and west of State Line Road.

CASE 21-19 – TOWN CENTER PLAZA – AMERICAN CENTURY INVESTMENTS – Request for approval of a Revised Final Plan for changes to the façade of a tenant space, located south of Town Center Drive and west of Roe Avenue.

CASE 22-19 – TOWN CENTER PLAZA – POTTERY BARN KIDS – Request for approval of a Revised Final Plan for changes to the façade of a tenant space, located north of 119th Street and east of Nall Avenue.

CASE 23-19 – ENCLAVE AT HIGHLAND VILLAS, FIFTH PLAT – Request for approval of a Revised Final Plat, located south of 143rd Street and east of Nall Avenue.

Chairman Coleman: There are four items. Would any of the commissioners like to pull any of these cases?

A motion to approve the Consent Agenda was made by Hoyt; seconded by Belzer. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

NEW BUSINESS:

CASE 04-19 – RANCH MART SHOPPING CENTER – REDEVELOPMENT – Request for approval of a Revised Final Plan and Final Plat, located east of Mission Road and north of 95th Street.

Staff Presentation:

City Planner Jessica Schuller made the following presentation:

Ms. Schuller: This is Case 04-19 – Ranch Mart North Shopping Center – Redevelopment – request for approval of a Revised Final Plan and Final Plat. The Preliminary Plan for Ranch Mart was approved in December, 2018 with Case 115-18. With this case, the applicant proposes to improve the parking lot of the entire center, consisting of a mill and overlay. They will update and add additional parking lot islands with landscaping and lighting. Additional landscape islands are proposed north of McDonald's to improve the

circulation on the site. The applicant also proposes to eliminate the existing driveway entrance along 95th Street between the McDonald's entrance and the stoplight to the east. The applicant proposes 5' sidewalks along 95th Street and 7' sidewalks along Mission Road as well as 5' sidewalk connections from 95th Street up to the main center. The applicant proposes street trees, shrubs, grasses, and a 3' parking lot screen wall along 95th Street and Mission Road with the exception of the McDonald's frontage. The applicant proposes updated facades and roofs for the main center. The materials generally consist of the grey-tone brick and tile, accented with natural wood tones on the awnings and metal perforated screens used as accents throughout. The pharmacy drive-through is proposed in approximately the same location as the existing grocery store pickup location. A portion of the main center will be demolished for use as a pedestrian plaza space, including landscaping, seating, and lighting. On the northeast corner of the site, the applicant proposes to demolish the existing structure and provide a 27,597 sq. ft., two-story office and retail building. The proposed two-story building will have a second-story balcony that overlooks the plaza space. The overall square footage of Ranch Mart is decreasing slightly from 221,552 square feet to 218,057 square feet. The existing structures of the McDonald's, NBKC Bank, and CareNow building will remain. There are multiple art features that are shown on the renderings in your packet; however, the art features are not finalized and will come back for final approval at a later date. Ranch Mart was originally developed prior to the adoption of our current ordinance, so a number of the setbacks onsite do not comply with today's Leawood Development Ordinance (LDO) but are considered legally nonconforming. The applicant is not increasing any non-conformity on the site. Staff does recommend approval of Case 04-19 with the stipulations in the Staff Report. I'm happy to answer any questions.

Chairman Coleman: Are there any questions from the commissioners?

Comm. Block: Thank you very much for the summary; it was very helpful with the changes from the last one. It helped navigate the packet. I was curious about the wood light poles. Why were you only concerned about the east-west and not all of them as far as maintenance?

Ms. Schuller: That concern actually has been resolved. The applicant was originally proposing a dressed-up light pole in front of the center as a feature. Staff had concerns about the long-term maintenance of those, so the applicant has agreed to remove them and use the regular pole that will be used in the rest of the site.

Comm. Block: Then maybe I misunderstood. I thought those wood poles were throughout the site.

Ms. Schuller: It was just at the entrance.

Comm. Block: It looks like the trash enclosure situation was dealt with.

Ms. Schuller: That is correct; the Board of Zoning Appeals ruled on it.

Comm. Block: It will go over by the bank. What does fritted glass look like?

Ms. Schuller: There should be an image in the back of your packet. It's a patterned glass. They are proposing a tree element. There is also a different example on the material board.

Comm. Block: I think the last time we talked about this, we discussed traffic flow around McDonald's. I don't remember the details exactly, but leaving McDonald's close to Mission, will there be a left turn allowed there?

Ms. Schuller: Yes, it will be as shown on the plans. I will let the applicant further address this, but I believe they reached out to the owners of that portion of the site, who was unwilling to make changes.

Chairman Coleman: Are there other questions?

Comm. Peterson: I'm curious why there is a difference in the parking slanting between the parking between McDonald's and everywhere else. Is there a specific need that is met by having slanted parking versus straight-in?

Mr. Klein: The angled parking requires traffic to flow in one direction.

Chairman Stevens: On Page 4, some of the staff comments refer to the 7' sidewalk along Mission Road except along the McDonald's pad site. I know staff is recommending it to be reduced to a 6' sidewalk. This is also one of the stipulations.

Ms. Schuller: That is correct. In locations where there is a wall directly adjacent to the sidewalk, we require it to be a 6' width, which is why we added that stipulation. Otherwise, on the site, 5' sidewalks are required.

Comm. Stevens: The applicant has done a good job in documenting that condition along that site, so the 7' dimension they were using appears to be from the curb edge of the parking lot to the wall. Would this change in dimension be a request to them to move the location of their wall along Mission Road?

Mr. Klein: It would move the wall in 1 foot more, which would add landscaping along Mission Road. That is why we are requesting that.

Comm. Stevens: As a quick point of clarification, under the last comment of that same site plan review, it talks about a future pad or location for a KCATA bus facility in the future. It notes the location being near the entrance just east of the McDonald's site location. That is the determined location. I noticed in the submission, in the civil drawing C1.1, it shows the location to be south of the cemetery. Maybe as a point of clarification, this is the preferred location for the future bus stop.

Ms. Schuller: That looks like the sheet didn't get updated. At the time of Preliminary Plan, it was proposed in front of the cemetery, but it has been relocated to just east of the driveway on 95th Street east of McDonald's. It leads straight to the sidewalk that will allow entrance into the center. It was determined by KCATA that they didn't require a pull-off, so they moved it closer to the existing site.

Comm. Stevens: It does show that on the submittal on 8.1. It was confusing. Lastly, on the parking counts on Page 7, this may be a carryover or typo, but the Leawood Ordinance calculations for parking still add up to 928 spaces, but it looks like the new submission is for 917 and 933. I have a feeling maybe one of those numbers isn't updated.

Mr. Klein: They are proposing 933, which is more than what is required minimum. We split it based on the zoning for the retail spaces at 3.5 parking spaces per thousand. With the restaurants, we calculated one parking space per two seats. They provided restaurant seating counts within the plan as well.

Chairman Coleman: On Mr. Scovill's report dated March 21st, I want to confirm that all the stipulations he added are part of the stipulations in the Staff Report.

Mr. Klein: They are part of the stipulations.

Chairman Coleman: Are there other questions? I'll invite the applicant to come up.

Applicant Presentation:

Curt Peterson, Polsinelli Law Firm, 6201 College Boulevard, Overland Park, appeared before the Planning Commission and made the following comments:

Mr. Peterson: We have very little affirmatively to say tonight, as we have worked through a lot of issues. I would like to be official and say that Stipulations 1-39 are acceptable and offer Chris Hafner with Davidson A&E, our design firm, is here and can walk through anything you like. I did want to speak to the McDonald's question. The stipulation we were left with was to go deal with the ground lessee. We had a good conversation and asked them to go further than they had gone before. They had cooperated with the closure of that entrance on 95th Street and some other things. Staff knows that they said they had done what they were going to do. We can dig deeper, but we did the best we could do.

Comm. Coleman: Does anyone have questions? Thank you.

Chris Hafner, Davidson Architecture and Engineering, 4301 Indian Creek Parkway, Overland Park, appeared before the Planning Commission and made the following comments:

Mr. Hafner: Thank you for the time and consideration. I'm just going to walk through some of the images we've created and a video to explain the character and nature of the

new development we are proposing (*shows video*). Moving along Mission, you can see a good definition of entry, both vehicular and pedestrian. There are new sidewalks along Mission Road. We are consolidating the parking fields and creating more of an opportunity for people to get deeper into the site before making vehicular decisions, where to park, and how to move through the site. We're very proud of these pedestrian connections, both from 95th and Mission, to get into Ranch Mart. One goes up to the front door of Price Chopper. The signalized intersection will remain in the current location. The existing building has a tooth removed from it to create the pedestrian pathway from 95th into what we consider to be a vibrant community-activated area. It has a lot of landscaping and a nice pedestrian path. We've scaled it to make it feel intimate and nice and then open up to a pedestrian plaza with artwork and a new two-story mixed-use building with a plan for an office on the second floor and restaurant/retail space below. To the right is the back of the current retail center with a lot of landscaping, screening, and things like that to kind of block the views of meters on the back of the buildings. There is a piece of art in the island to create a signifier that the new building is behind. It is a pretty large transformation of Ranch Mart. We're trying to get people deeper into the site and make the area a bit more activated in the pedestrian plaza. There were questions about how Cure of Ars interacts with Mission, so we created a series of renderings to help explain to parents and anybody with a child walking down Mission. We wanted to show the experience. I appreciate staff working with us. Along Mission, we have a lot of landscaping, a screen wall, and then a sidewalk that drops down to the parking lot level just to get them away from Mission traffic. We also did a few renderings coming in from Mission and Hallmark, which will stay in place with a pretty big transformation to their façade. We created an intimate park setting in front of that with another little plaza where people can interact. We'll be back with our signage package, but we will have a little wayfinding in the signage incorporated into the architecture and the landscaping. Price Chopper is under renovation internally based on some of these external proposals we have here. We're excited about all of it, including the pedestrian plaza and artwork that will come forward with the signage package so we can look at it in detail. It is a signifying piece moving from the retail center to signify the center of this pedestrian plaza. The east parking field is undefined right now to create a lot of islands and definition of where people park. We really foresee this as one of the main entry points. There is a pretty large parking field for use within the pedestrian plaza. We all are familiar with the architecture of what Ranch Mart is. It's a departure, for sure, but as we talked about at the last meeting, it is a departure from the south side as well. We wanted to take a step forward architecturally and differentiate this project from the south side and its uses. We added a kiosk to serve the public plaza. The tenant is still to be determined, but there are good talks for someone to operate that and open up to the plaza. We have a recurring tree theme throughout the art features. We have carried that throughout some of our angular lines, including a 3" speed bump to slow east-west traffic down and make the intersection safe for everybody to use. Again, we have sidewalks coming into the site on the north side of Mission along Hallmark, and we have two along 95th Street and a sidewalk that runs adjacent to the signalized intersection, keeping the cemetery access to the steps. Right now, the parking field is one-way traffic. We worked with staff. To make the parking spaces ADA, there is a slope. We have slid the parking west away from the

CareNow building to get the parking more ADA accessible in that area for that building and consolidated another vehicular access point on 95th Street. Instead of two points because of the one-way traffic, we've consolidated it back down to one full access point. We're excited about the project, and I'm happy to answer any design questions.

Comm. Hoyt: You were talking about handicapped accessibility. Speaking from personal experience at that shopping center, there are places that are really short on handicap parking spaces. Is there a detailed study that takes place when you do a project of this scope where you reassess where you're positioning the different types of parking?

Mr. Hafner: Absolutely; the ADA has requirements based on parking count of how many spaces we need to provide. We looked at that and understood the 933 required. I don't remember how many ADA spaces we have, but they do meet code. We then dispersed them based on square footage of area. For instance, at Price Chopper, we worked very closely with the tenant to make sure we got those located appropriately. The vast majority happen right at the front door for their purposes. Around the rest of the shopping center, they're dispersed somewhat throughout so they're not all located in one spot where you have to move throughout the center.

Comm. Hoyt: Anecdotally, you'd have to hear from the different tenants, but it seems like O'Neill's needs a lot more handicap parking, based on personal experience. There might even be something about the types of business, and some need more than others; it's not just square footage. The other question I have may be here and I just don't see it. Where are bicycle rack positioned?

Mr. Hafner: We worked with staff on locations of those. I'm going off memory, but we have an island on the northeast corner of O'Neill's that has bicycle racks. Just north of Hallmark has bicycle racks. In the north area of our pedestrian area, we have bicycle racks. I believe at the pedestrian entry off 95th, we have bicycle racks. Much like the parking and ADA, we spread them around so there's not just one consolidated location.

Chairman Coleman: Can you point out the drive-through for the pharmacy?

Mr. Hafner: Right now, if you can envision where the grocery pickup canopy is, that sticks out into the drive lane. We removed that and got the drive lane to be a true east-west and not have to jog around it. The door in that location is where we coordinated with AWG and the tenant for Price Chopper to get their pharmacy located there. We worked with staff on proper stacking and went through the special use process to get that approved on the south side of the existing Price Chopper.

Chairman Coleman: Commissioner Block brought up a good point. The exit could be problematic coming out of McDonald's.

Mr. Hafner: We worked with staff closely on this as well and, as mentioned, with the tenant. What we like about this plan is the parking right now is just angled parking on the pavement. Important to note is we have put in the island to define the angled parking to

the traffic flow standpoint. We have an escape lane in case you don't want delicious McDonald's. We liked the location for the escape lane and the angled parking stalls to get farther away. Some of the plans we looked at consolidated all the exiting traffic. In working with McDonald's and our client, we tried to split that up so there's not as heavy of a concentration at that intersection. We did our best around the site to increase the throat depth vehicular-wise. On the north side, the plan allows for vehicles to come in and make the turn with a bit more time to make that decision. We have closed off the access point to the signalized intersection. You can see that throat depth is deep and goes all the way to the T intersection. We did the best we could everywhere we could. Because of the orientation of the existing conditions of McDonald's, I wanted to split the traffic up as well as I could.

Chairman Coleman: People coming out of the drive-through potentially could go right.

Mr. Hafner: They could. They could either go out of the drive-through and hit this point, go back around, or do a 180 and go out. It does give them multiple opportunities out of the drive-through.

Chairman Coleman: Are there any other questions? That brings us to discussion. Does anyone have comments?

Comm. Hoyt: I thought the graphics were extremely helpful. It looks beautiful. It's a huge improvement.

Chairman Coleman: Any other comments? The chair will entertain a motion.

A motion to recommend approval of CASE 04-19 – RANCH MART SHOPPING CENTER – REDEVELOPMENT – Request for approval of a Revised Final Plan and Final Plat, located east of Mission Road and north of 95th Street – including all 39 staff stipulations - was made by Hoyt; seconded by Belzer. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

CASE 14-19 – MOLLE OFF-SITE PARKING – Request for approval of a Special Use Permit for a temporary use of land for off-site parking, located south of 104th Street and west of State Line Road. **PUBLIC HEARING**

Staff Presentation:

City Planner Jessica Schuller made the following presentation:

Ms. Schuller: This is Case 14-19 – Molle Off-Site Parking – request for approval of a Special Use Permit for a temporary use of land for off-site parking. The site is located south of 104th Street and west of State Line Road and consists of a gated asphalt parking lot with a decorative black fence along 104th Street. The parking lot stores new vehicles for Molle Toyota and has been in use by Molle since 1999. There is a memo before you with changes to Stipulation No. 9, which will be included with this approval. The Special Use Permit is for a temporary use of land, and so it is limited to a term of two years.

Staff recommends approval of Case 14-19 with the stipulations in the Staff Report, and I'm happy to answer any questions.

Chairman Coleman: Are there questions for staff?

Comm. Block: I think we dealt with this more recently than two years ago. I thought there was some discussion about a light. I assume it's up and everything is good.

Ms. Schuller: The case came in 2017, and the stipulation was to remove existing parking lot fixtures because they were not in conformance with the LDO. Since then, it has been removed, and there is a note on their plan, noting it has been removed.

Chairman Coleman: We would invite the applicant up.

Applicant Presentation:

Matt Moriarty, 900 W. 48th Place, Kansas City, MO, appeared before the Planning Commission and made the following comments:

Mr. Moriarty: I'll keep this brief. I will say at the outset that I do not have quite the interactive presentation the last one did, but this is for a small sliver of land with some cars parked on it. As was pointed out, we are just coming here for renewal of a Special Use Permit that has been in place for 20 years. A light that was not up to code was removed shortly after the application was granted two years ago. By my count, this is now the 12th time we have been here for this application. We are just trying to get it renewed and use it as we have for the last 20 years. I will answer any questions, but there is not a lot to talk about with this one.

Comm. Peterson: Did this land suffer flood damage when the two summer flooding events occurred?

Mr. Moriarty: There was some flooding on the property, but the reports from Molle said it was nothing significant.

Chairman Coleman: Any other questions? Is there discussion on this case? This case requires a Public Hearing. Is there anyone in the audience who would like to speak?

Public Hearing

As no one was present to speak, a motion to close the Public Hearing was made by Block; seconded by Hoyt. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

Chairman Coleman: Is there discussion?

A motion to recommend approval of CASE 14-19 – MOLLE OFF-SITE PARKING – Request for approval of a Special Use Permit for a temporary use of land for off-

site parking, located south of 104th Street and west of State Line Road – with all staff stipulations – was made by Belzer; seconded by McGurren. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

CASE 25-19 – BARSTOW SCHOOL – LEAWOOD CAMPUS – Request for approval of a Final Plan and a Special Use Permit for a Commercial Daycare, located north of 123rd Street and west of State Line Road. PUBLIC HEARING

Staff Presentation:

City Planner Jessica Schuller made the following presentation:

Ms. Schuller: This is Case 25-19 – Barstow School – Leawood Campus – request for approval of a Final Plan and a Special Use Permit for a Commercial Daycare. The Preliminary Plan for the Barstow School was approved with Case 107-18 this past October. The proposed Barstow School in Leawood Plaza is an ancillary campus to the existing Barstow School, which is located near 115th Street and State Line Road in Missouri. This new school will serve elementary, middle, and high school students. The applicant proposes the students will be shuttled from the main campus to this ancillary campus, which will house approximately 50-150 students with 10-15 teachers. The applicant also proposes a daycare facility within this ancillary campus for approximately 18 infants and 48 toddlers, which will be open to the Leawood community. The hours of operation for the school are generally 6:30 a.m.-6:30 p.m. The existing retail structure is a one-story, 63,370 sq. ft. building. The applicant does not propose any changes to the existing parking lot, the parking lot lighting, or the number of parking spaces, which meets the requirements of the LDO for schools. The applicant proposes an interior outdoor play area for students in lieu of installing a traditional playground within Leawood Plaza. The applicant is proposing modifications to the eastern elevation of the building, which is the main side of the building. They propose new storefront windows across the eastern façade in place of the stucco infill that is currently there. They're going to update the metal fascia on the building to match what is existing. The applicant also proposes an additional doorway and two windows to be located on the southern elevation and a new accessible ramp and stair landing on the western elevation, which is the rear of the building. The site is currently landscaped. The applicant proposes some additional ornamental trees on the west side of the building on the existing landscaped berm and also within the parking lot island on the south side of the main parking lot. Staff recommends approval of Case 25-19 with the stipulations in the Staff Report, and I'm happy to answer any questions.

Chairman Coleman: Are there questions for staff?

Comm. Block: Again, I appreciate the history since the Preliminary Plan; I think that's very helpful. I thought there was a high number of cut sheets for the HVAC system. It seems unusual. Is there something I missed in the explanation as to why we need to see that many?

Ms. Schuller: Sometimes, the applicant submits more and they don't all get narrowed down for the packet.

Chairman Coleman: Additional questions? We'd like to invite the applicant up to present.

Applicant Presentation:

Ellen Pantaenius, Husch Blackwell, 4801 Main Street, Kansas City, MO, 64112, appeared before the Planning Commission and made the following comments:

Ms. Pantaenius: We have a quick PowerPoint to show so you can see the plans with the minor changes that have been made since the Preliminary Plan. Planning staff went through some of the background information, so I will pass that up, except to point out that the Barstow School did complete its purchase of the property from HyVee in November, 2018 after our Preliminary Plan and Special Use Permit were approved. We are seeking Special Use Permit approval for a daycare center. It's something we contemplated all along, but we have increased the number of toddler students by just a little bit. As we discussed with our Preliminary Plan and original Special Use Permit, we will be expanding robotics and STEAM programming in this space. I do have Jeff Schnitzler with Hollis and Miller Engineering, who will help go through some of the images and describe what the changes are.

Jeff Schnitzler, Hollis and Miller, 1828 Walnut, Suite 922, Kansas City, MO, appeared before the Planning Commission and made the following comments:

Mr. Schnitzler: I'm the architect for the Barstow School. As Ellen mentioned, we'll talk about a few of the additions. Thank you to staff for highlighting those. With the further development of the project, the addition of an additional south egress door and some windows for one of the infant rooms, updating some of the west access in terms of rebuilding existing ramp and stair to make them ADA compliant and bring the building up to code. Then, along the eastern side, everything remains largely the same with the exception of the northeast corner, where some additional glazing is proposed. Again, no changes to the existing parking lot to the east, no changes to the existing drive or access due to the cross-use agreements with the existing other adjacent property owners. We are proposing some new building lighting under the east canopy and along the west to provide better site illumination. There is no new parking lot lighting at this time. At the top elevation, you'll see the existing condition where the building lacks a lot of windows and has a lot of existing stucco. As staff mentioned, the addition of new storefront glazing along the east elevation to provide more life and vibrancy and get daylight in for the students in the school and make it a little more friendly to the neighborhood. There are modifications to the existing entry to update the look. One of the changes from the Preliminary Plan is the entrances to and from the building will remain in their current location but will be updated. Originally, we contemplated an entry off the parking lot, but due to some of the site constraints and safety factors, we kept it the way you see it. The remaining treatment of the elevations is more maintenance and upkeep with the exception of the ramp and stair that we discussed on the rear of the building and the addition of the

door and windows on the south for the infant rooms. You'll see mechanical screens for the rooftop equipment as well as the skylights. Those are vertical glazing. They face north to get nice filtered light without a lot of heat gain so we can bring daylight into the space. We discussed that with staff in terms of that approach versus a traditional skylight. The continued evolution of the floor plan is provided for everybody in terms of the main entry space and how the different program areas will be utilized in the space in terms of STEAM and robotics, black box theater space, and additional multipurpose spaces. The daycare is at the southeast corner adjacent to the existing canopy, which will serve as the secured daycare entry. At the center of the plan, you'll see a figure eight, which is the interior courtyard. It is an outdoor play space at the interior of the building footprint to meet the requirements for outdoor play and to provide a safe and secure environment for the preschool and daycare children. Due to the limitations of the surrounding site, there is not enough clearance to put in a sizable play area without crossing traffic. Signage is not part of this application. The image you see is interior and approximately 15 feet from the glazing. You'll see the modern approach to updating the look of the building. As staff mentioned, we are updating the dated fascia that was originally a sign band so it's more consistent and more in keeping with the image. It will match the existing color, but it will be new material. If there are any questions, we're happy to entertain those.

Ms. Pantaenius: We did have an additional interact meeting where we received very positive input from the surrounding community. Barstow has also sent a survey to residents to try to gather more community input. We are in agreement with all the stipulations in the report with the exception of one, which we would like to respectfully request reconsideration. That relates to No. 9, which is construction of a storm shelter in accordance with ICC 500. We understand that those requirements will be adopted no sooner than May by the city and that thereafter, there would be a 90-day enforcement buffer. We would like some additional time to work with city staff to adopt a plan that works the best for this property. The storm shelter facilities that are already a part of this design are largely in compliance with this, but we would just like the additional opportunity to develop a plan that's tailored to this site.

Mr. Klein: Staff recommends that it actually be constructed to FEMA standards. Currently, however, we don't have an ordinance that requires it. As the applicant mentioned, it is something that is going to be adopted in the new city code before the end of the year. We think it is a good idea since it's a school with children.

Mr. Hafner: There are high-wind areas anticipated as part of the design of the project. The difference is with the terminology when we refer to FEMA shelters, which have certain requirements, and then the ICC 500, which is referenced and overlapped with FEMA, but there are some subtle differences. ICC 500 is specific to that building; FEMA, often times, incorporates federal FEMA funding and may also include community access and different requirements in terms of operation. The ICC 500 standard is specific to this building. Currently, the design anticipates and meets the requirements for the high-wind protection for 250 MPH winds and missile protection. Think of images of Joplin, where 2x4s were blown through walls as well as ventilation and lighting requirements. The area where the current design does not fully comply with

ICC 500 at this time is the requirement of the number of restroom facilities in each of the high-wind areas. To Ellen's point, we would like to have the opportunity to work with city staff to better understand what the implementation looks like and to tailor an approach for meeting the requirements the best we can within the constraints of the adopted ordinances and the intent of the school. That was the reason for the request of the removal of that stipulation. We learned of that requirement Friday and have not had time to work with city staff to get a better understanding of all the implications of that.

Mr. Klein: I talked to the building official before the meeting, and he referenced ICC 500. One of the things he wondered is about the doors' capability for wind protection.

Mr. Hafner: Absolutely.

Mr. Klein: He is absolutely correct; one of the issues of the ICC 500 is requiring bathroom facilities in those areas. I believe currently, they aren't showing any bathroom facilities in those areas. Again, this isn't something that currently is required by the code, but since we will be adopting it within the year, we think it would be a good idea.

Comm. Hoyt: If the stipulation were to be removed, what is the mechanism to make sure that the Final Plan is, in fact, in compliance with ICC 500?

Mr. Klein: That is what the applicant is asking. I think they are willing to make the room safe as far as the wind speeds and objects flying into the room. I don't know if they're proposing to meet all the requirements of the ICC 500.

Mr. Hafner: The question is to better understand all the implications of that, given that we just learned of the stipulation a few days ago as a requirement for something that is not yet adopted. The intent of the design team is to provide wind areas that meet the wind speed, missile protection, ventilation, emergency lighting. At this time, the remaining item is the number of restrooms provided in each of the areas. The strategy for this building is that there is not one large, centralized shelter area, partly because of existing construction and partly to make sure they are located in areas because we are dealing with children of different ages. The stipulation states a singular requirement for the shelter area, and we would like to better understand the city's interpretation of that. We would respectfully request that the stipulation be removed so we can continue to move forward while working with city staff.

Mr. Coleman: We'd be glad to work with them, but we would not want it removed.

Comm. Hoyt: I guess that was my question. How do we do this so that there is a guarantee that this becomes addressed and that you all work together to sort this out? My initial position would be, particularly if the city is moving toward this within the near future and wanting to be cautious and exercise our responsibility to look after public safety, I would want to see some guarantee that there is a mechanism in place so you get together on this.

Mr. Coleman: It could be worded as, “a safe room as approved by the building official that meets the safe room requirements.” It looks like there are a couple options that wouldn’t be any change to the floor plans but maybe more dealing with the materials.

Comm. Hoyt: Can somebody come up with some alternative language that would be satisfactory?

Mr. Klein: Maybe, “Prior to Governing Body consideration, the applicant shall work with staff to provide a safe room deemed compliant by the City of Leawood building official.”

Comm. Hoyt: You want to leave out the reference to ICC 500?

Comm. Coleman: Or keep it in there and add a sentence to it.

Mr. Klein: “To meet ICC 500 or as approved.”

Mr. Hafner: What I would request is that the ICC 500 be removed for the time being because the intent is if we add that back in, we’re in the same spot. The intent is to provide a safe room. The understanding of the size and the amount of shelter area is yet to be defined. There are criteria to meet ICC 500. Again, this is a unique educational building in terms of the defined number of students. When you look at it based on square footages, the difference in terms of the amount of shelter area may vary greatly. That is one of the reasons we would like to work with city staff to better understand what those requirements are. The intent is to provide shelter rooms or shelter areas to protect the students that are there.

Mr. Klein: It is possible to keep the case moving forward for Governing Body by having it read, “In accordance with the ICC 500 or as deemed in compliance with storm shelter requirements by the building official.” That way, it doesn’t lock you out, but it also keeps all the issues front and center for Governing Body as well.

Mr. Hafner: I guess another way to do that would be to comply with the Wind Speed and Missile Protection criteria.

Mr. Klein: I’m not a building official. I’m sure there are a lot of different aspects. I would prefer to rely on his expertise. That way, at least it wouldn’t lock you into the ICC 500. He would have to review to make sure he felt it met the requirements.

Mr. Hafner: I guess also understanding the timeline in which the city will adopt the new building code because that is part of this as well. We anticipate submitting these drawings prior to the end of the year.

Mr. Klein: I think currently, this application will go to the April 15th Governing Body meeting, which allows us a couple weeks to have discussions.

Comm. Hoyt: The title of the city official who would sign off on this is what?

Mr. Klein: Building official.

Ms. Pantaenius: My thought is if we could eliminate the reference to ICC 500 and just state something to the effect of “deemed in compliance with building requirements or ordinances” so that we are in compliance with Leawood’s laws, whatever they may be but not necessarily pulling those requirements into it.

Chairman Coleman: Can we find common ground on that?

Mr. Coleman: It’s just that we’re looking to the future. Currently, it is not in the code but will be in the code before the end of the year. We’re just trying to look ahead.

Comm. Block: I think there is a disconnect. At least what I understand is the ICC 500 requires bathrooms. I think that's a big, expensive item. Mr. Coleman does not reference that.

Mr. Coleman: I think we'd be looking at the existing floor plan and what could be done with it as it is rather than trying to move things around. There are a number of rooms that have bathrooms incorporated into them.

Comm. Block: And you think that's enough?

Mr. Coleman: We would work with them to figure out what would work and what wouldn't work.

Comm. Block: If this facility were built and already operational today and that ordinance gets passed at the end of the year, it's legal, nonconforming with regard to ICC 500. Will the city not issue an occupancy permit because they won't be in compliance with it?

Mr. Coleman: No, we're just trying to address it ahead of time. It would be if they came back with something else for the school later on to add something, they could potentially have to bring it into compliance.

Comm. Block: I'm just struggling with how we hold them to an ordinance that doesn't exist today.

Mr. Coleman: That's true.

Comm. Block: What's the trigger going to be that they will have to conform to it once they're open if they don't do it today?

Mr. Coleman: They don't have to. That's the point technically because it's not in the code now. It depends on when the code is adopted and when they pull their building permits. We've seen this coming for more than a year, and we recommend it to schools to adopt it.

Comm. Block: I don't remember the school that was rebuilt on 103rd. Does this apply to that?

Mr. Coleman: I couldn't tell you that right now, but I know other school districts have adopted that standard. They tend to be districts where the school was destroyed like in Alabama and Joplin.

Comm. Hoyt: Mark suggested that we add, "or as deemed appropriate by the city building official."

Mr. Klein: I just figured that would be a way for Governing Body to know that we would be adopting the ICC 500 before the end of the year; however, it also recognizes the fact

that the current ordinance, depending on when they pull the building permit, doesn't exist. The applicant indicated a willingness to work with us to do that. It made the Governing Body aware that ICC 500 is going to be adopted but also allowing the applicant to work with us. If it doesn't meet all the things with the ICC, as long as the building official is comfortable with the fact that it meets all the requirements for storm shelters and maybe just doesn't have the restrooms, it could be up to the building official.

Comm. Hoyt: So, we take No. 9, and instead of a period, it is, "or as deemed appropriate by the city building official." If this gets approved with that stipulation and you go to Governing Body with this and still think it's too restrictive, you could take it up with Governing Body at that time, but it would have come on our recommendation that it ought to meet ICC 500 or some very close facsimile of that based on whatever the city building official is comfortable with.

Chairman Coleman: Is that acceptable?

Ms. Pantaenius: Well, it would potentially leave us in the very same position with that higher standard being stated.

Chairman Coleman: I think it also gives you some time between now and the April 15th meeting to come up with something with staff that is more acceptable that they can add in to their report to City Council.

Comm. Hoyt: And if nothing else, you could come to an agreement on what "deemed appropriate" even means because that could hold the key to protecting you as well as the city being able to express its intent of what it really wants. Maybe there could be a meeting of the minds between now and when this goes to Governing Body on what everybody would accept as appropriate.

Chairman Coleman: Or come up with something that you could substitute in for the entire stipulation. Are there any other questions for the applicant? Thank you. This case requires a Public Hearing.

Public Hearing

David Fisher, 12110 Overbrook Court, appeared before the Planning Commission and made the following comments:

Mr. Fisher: What are the hours of operation?

Ms. Schuller: They are generally 6:30 a.m. – 6:30 p.m.

Mr. Fisher: And you say there's going to be a shuttle to bring the children in?

Ms. Schuller: That is correct. The daycare facility will have open hours for drop-off in the morning, but the school will have a shuttle from their main location to this ancillary campus.

Mr. Fisher: The Barstow School at 117th is a mess every morning on State Line. You can't go by; you can't do anything there. There will be 48 children?

Ms. Schuller: The daycare has the potential for that many, yes.

Mr. Fisher: And the storm shelter will be indoors?

Ms. Schuller: Correct.

Mr. Fisher: So, there shouldn't be a line of traffic like there is on 117th?

Comm. Hoyt: It should be less traffic than what HyVee produced, actually.

Mr. Fisher: Will the children be playing outdoors?

Ms. Schuller: I don't believe so. They have a play space located on the interior of the building.

Mr. Fisher: So, there won't be a playground outside?

Ms. Schuller: No, there will not.

Mr. Fisher: Okay. I have no other questions. Thank you.

Chairman Coleman: Thank you. Is there anyone else who would like to be heard?

As no one else was present to speak, a motion to close the Public Hearing was made by Block; seconded by Hoyt. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

Chairman Coleman: I was going to ask the applicant if they wanted to address the person's concerns, but he left. Any discussion on Case 25-19?

Comm. Hoyt: I don't know if this is the appropriate time to do that, but I think I need to make a motion to amend Stipulation No. 9.

Chairman Coleman: I think you do that when you do the entire motion. Is there any discussion from the commissioners? Chair will entertain a motion.

A motion to recommend approval of CASE 25-19 – BARSTOW SCHOOL – LEAWOOD CAMPUS – Request for approval of a Final Plan and a Special Use Permit for a Commercial Daycare, located north of 123rd Street and west of State

Line Road – with all staff stipulations, changing No. 9 to remove the period and add, “or as deemed appropriate by the city building official.” was made by Hoyt; seconded by Belzer. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

CASE 32-19 – LEAWOOD DEVELOPMENT ORDINANCE AMENDMENT TO SECTION 16-4-12.4, DISTRIBUTED ANTENNAE SYSTEM (DAS) AND SMALL CELL FACILITIES – Request for approval of an amendment to the Leawood Development Ordinance. **PUBLIC HEARING**

Staff Presentation:

Assistant Director Mark Klein made the following presentation:

Mr. Klein: This is Case 32-19 – Leawood Development Ordinance Amendment to Section 16-4-12.4, Distributed Antennae System (DAS) and Small Cell Facilities. Currently, the City of Leawood is seeing more of these types of facilities. They are a much higher frequency and are much lower to the ground. They are often located on top of light poles. Currently, the LDO has restrictions regarding DAS of a maximum of one per pole and a size limitation of 54 inches in height, 16 inches in diameter and no mounting more than 12 feet above the arm of the light fixture. Additionally, no more than two pieces of equipment can be attached to the pole and no more than 2 feet of exposed wiring going from the radio equipment down, making it internal to the pole. The reason you are seeing this application is the FCC has adopted some new regulations, and the city is responding to them and incorporating them into the LDO because we would be required to follow them. This addresses the aesthetic standards, the time limitation staff has to review and approve these applications, and application requirement. Another factor is that 5G is starting to gain prominences, and as a result, poles might have 4G on there, which meets all the standards we currently discussed; however, it might need the 5G as well with additional requirements of three pieces of equipment. This ordinance responds to that. This ordinance responds to that. Rather than two pieces of equipment, no more than 3.5 cubic feet, this will allow no more than five pieces, no more than 8 cubic feet. It still limits to one enclosure at the top of the pole. It also has the restriction of no exposed wiring greater than 2 feet, and it has to be internalized to the pole. Additionally, it responds to a right that the providers have as far as placing their own poles. Currently, we’ve been seeing DAS going on city light poles. They’ll replace the poles with theirs that look like city poles. Now, they might have the ability to have their own pole. This ordinance addresses that and tries to ensure the aesthetic is the same with the poles within 300 feet, both in height and style. In addition, this addresses the shot clock, which requires an approval 60 days to add on to an existing pole; a new pole would require 90 days for the approval process. There are also requirements that the applicant would provide, including photo sims. Staff is recommending approval of this ordinance, and I’d be happy to answer any questions.

Chairman Coleman: Any questions?

Comm. Block: Do you have any images of what these look like?

Mr. Klein: Unfortunately, I do not.

Comm. Block: How much different does it look than what is out there today? Is it just slightly bigger?

Mr. Klein: Yes, with just more pieces of equipment.

Mr. Coleman: Probably two more of those little boxes.

Comm. Block: These are the cylindrical things on top of the poles?

Mr. Coleman: There will still just be one on the top. On the pole itself, there could be two more radios, essentially.

Comm. Block: The shot clock language is driven by the FCC?

Mr. Klein: Correct.

Comm. Block: We have to do that with federal law, but how hard is that with our process?

Mr. Klein: The city will have ten days to determine if it is a complete application. We can then toll the clock at the point we get a complete application. I think the city has in place a permitting system that should work well.

Comm. Block: Is the language proposed here model language from somewhere? It seems good to me, but was it pulled from a city that we liked what they were doing?

Mr. Hall: It's taken from a few different places around the area. Initially, the City of Pittsburg, Pennsylvania had a really good system, and several other Kansas cities adopted it. Much of this language is taken from them.

Comm. Block: The desire is to not make it look much different than it does today but still account for new technology.

Mr. Klein: Correct.

Chairman Coleman: Are there other questions? I was going to ask if it was a 24- or 30-second shot clock. I'm in full basketball mode. I'm glad you explained it was a longer duration. This case requires a Public Hearing.

Public Hearing

As no one was present to speak, a motion to close the Public Hearing was made by Block; seconded by McGurren. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

Chairman Coleman: Is there any discussion on Case 32-19? Chair would entertain a motion.

A motion to recommend approval of CASE 32-19 – LEAWOOD DEVELOPMENT ORDINANCE AMENDMENT TO SECTION 16-4-12.4, DISTRIBUTED ANTENNAE SYSTEM (DAS) AND SMALL CELL FACILITIES – Request for approval of an amendment to the Leawood Development Ordinance – was made by Hoyt; seconded by McGurren. Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

PLANNING COMMISSION ELECTION OF OFFICERS

Chairman Coleman: I believe these are one-year terms. We have to elect a Chairman, Vice-Chairman, and Recording Secretary. Are there nominations for Chairman?

A motion to nominate Marc Elkins for Chairman of the Planning Commission was made by Hoyt; seconded by Belzer.

Chairman Coleman: Are there any other nominations for Chairman?

Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

Chairman Coleman: Are there nominations for Vice-Chairman?

A motion to nominate David Coleman for Vice-Chairman of the Planning Commission was made by Belzer; seconded by McGurren.

Chairman Coleman: Are there other nominations for Vice-Chairman?

Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

Chairman Coleman: We have traditionally done Mark Klein as Recording Secretary. It is in our ordinance that we have to do that. Is there a nomination for Recording Secretary?

A motion to nominate Mark Klein for Recording Secretary of the Planning Commission was made by Hoyt; seconded by Belzer.

Chairman Coleman: Any other nominations for Recording Secretary?

Motion carried with a unanimous vote of 6-0. For: McGurren, Belzer, Hoyt, Block, Stevens, and Peterson.

Chairman Coleman: Any other business to come before the commission? I would like to note that we have a work session in two weeks with the City Council at Vista 154 Room at The Lodge. I think it's a 5:30 dinner, 6:00 start.

Mr. Coleman: It is April 9th at Ironhorse – not at The Lodge.

Comm. Hoyt: Is that a 6:00 firm time, or do we come early?

Mr. Klein: It's a firm time.

MEETING ADJOURNED

City of Leawood Planning Commission Staff Report

MEETING DATE: April 23, 2019

REPORT WRITTEN: April 17, 2019

**THE MAJESTIC – INDEPENDANT LIVING FACILITY – REQUEST FOR APPROVAL OF A PRELIMINARY PLAN, PRELIMINARY PLAT AND SPECIAL USE PERMIT FOR AN INDEPENDANT LIVING FACILITY – Located south of 137th Street and west of Mission Road – Case 24-19
PUBLIC HEARING**

STAFF RECOMMENDATION:

Staff recommends approval of Case 24-19, The Majestic – Independent Living Facility – request for approval of a Preliminary Plan, Preliminary Plat and Special Use Permit for an Independent Living Facility, with the stipulations outlined in the staff report.

APPLICANT:

- The applicant is Doug E. Hoffman with Majestic of Leawood.
- The property is owned by Stuart Sharp, Co-Trustee with Perry M. Sharp Trust C.
- The engineer is John Becker with Schlager & Associates, P.A.
- The architect is Jason Toye with NSPJ Architects.
- The landscape architect is Katie Martinovic with NSPJ Architects.

REQUEST:

- The applicant is requesting approval of a Preliminary Plan, Preliminary Plat and Special Use Permit for an Independent Living Facility.
- The applicant is proposing a three story, 130 unit independent living facility with 233,257 sq. ft. of construction on 11.95 acres, for a total F.A.R. of 0.45.

ZONING:

- The property is currently zoned RP-4 (Planned Apartment Residential District).

COMPREHENSIVE PLAN:

- The Comprehensive Plan designates this property as Medium Density Residential and Recreational.

SURROUNDING ZONING:

- North To the north is undeveloped land zoned SD-NCR (Planned Neighborhood Retail), and currently used for agricultural purposes.
- South Directly to the south is the single family residential subdivision of Leawood Meadows, zoned R-1 (Planned Single Family Low Density Residential).
- East East of the subject property, across Mission Road, is Villa Milano, a multifamily residential development zoned RP-3 (Planned Cluster Attached Residential) and RP-4 (Planned Apartment Residential).
- West To the west is The Villaggio at Leawood, zoned SD-CR (Planned General Retail), SD-O (Planned Office), and RP-3 (Planned Cluster Attached Residential).

- A linear water feature is proposed at the northeast corner of the site, following the curvature of 137th Street.
- A multi-level courtyard patio with swimming pool is proposed on the south side of the central building.
- The pool water will create a waterfall effect into a zero entry shallow pool/catch basin on lowest level.
- The courtyard will contain a variety of amenities including the swimming pool, cabanas, spa, fire pit, a roof covered grill structure, and a roof covered lounge and TV structure.
- A gated dog park is located at the northeast corner of phase 1 and directly north of phase 2 and will include a shade structure.
- The applicant proposes a sports amenity area located just west of the western entry drive. The sports amenity area will include two (2) pickleball courts, a roof covered game area, and a putting green.
- Two (2) gathering areas are proposed within courtyards on the north side of the building, between the main building and the wings to be constructed in the second phase of the development. These areas will include water features and outdoor seating. The applicant has made note that the plaza areas will be constructed during the first phase of construction.
- A number of retaining walls are proposed along the south side of the building, creating a tiered landscaping space along with a mixture of retaining walls and landscaping. The applicant is proposing a 6' tall privacy wall along the north side of a 25' tree preservation area that is along the south property line. This wall will screen the drive into the parking garage and help screen lights from traffic into and out of the parking garage.
- Internal walking paths connect the interior of the site to 137th Street at six (6) locations, and one (1) pedestrian connection to the pedestrian path to be constructed along Mission Road with the expansion of Mission Road.
- The trash enclosure is located on the interior of the parking garage, adjacent to the southern entry into the underground parking garage.
- Bicycle parking is proposed within the parking garage for use by the residents of the development.

BULK REGULATIONS:

- The project has the following performance criteria:

<u>Bulk Regulations</u>	<u>Required</u>	<u>Provided</u>	<u>Compliance</u>
Front Setback	30'	55'	Complies
Side Setback	30'	30'	Complies
Rear Setback	30'	86'	Complies
Density	10.89 dwelling units/acre	10.88 dwelling units/acre	Complies
Open Space %	30% of the lot area	55.9% of the lot area	Complies
*Height Limit as measured from the front door.	40'	39.5'	Complies

** Per Section 16-2-4.7 of the Leawood Development Ordinance, parapet walls are not included in the height of the building.*

PRELIMINARY PLAT:

- The site will be platted as a single lot. An additional 50' along the east property line will be dedicated as right-of-way for the future expansion of Mission Road.
- The following easements are shown on the plat:

<u>Easement</u>	<u>Location</u>
Drainage Easement	Along the western property line of the lot

<u>Easement</u>	<u>Location</u>
25' Tree Preservation Easement	Along the southern property line of the lot
10' Utility Easement	North of the 25' Tree Preservation Easement
Sanitary Sewer Easement	30' sanitary sewer easement along the east property line and a portion of land located on the west end of the property
5' Sidewalk Easement	Along the east property line of the lot

INTERACT:

- The applicant held two Interact meetings, which were held March 14, 2019 and April 2, 2019. A summary of the meetings are attached. Some concerns raised by those in attendance include, but were not limited to:
 - Proximity of the building to the residential neighborhood to the south.
 - Height of the new development.
 - Current storm water drainage issues for the residents directly south of the proposed project area.
 - Lighting of the site and exterior patios that would be seen by the adjacent residents
 - Current mosquito population on the site
 - Traffic coming into the main access drive towards the underground parking with car's headlights heading into residents yards.

TRAFFIC:

- A traffic study was submitted for review and approved by the Public Works Department.

PARKING:

- Per the Leawood Development Ordinance Section 16-4-5.4 Required Parking Ratios, two spaces are required per residential unit, one of which should be totally enclosed. The proposed development will include 130 units, requiring 260 parking spaces, 130 of which must be enclosed. The applicant is providing a total of 277 parking spaces, 227 of which are underground, meeting the requirements of the Leawood Development Ordinance.

ELEVATIONS:

- The applicant provided preliminary elevations of the proposed buildings. Elevations are reviewed and approved at the time of Final Plan application.
- The Independent Living facility is proposed to be 39.5' in height as measured from the front door of the building and will have a pitched roof. Per Section 16-2-4.7 of the Leawood Development Ordinance, parapet walls are not included in the height of the building.
- The main building is proposed to be composed of a three story structure with the wings of the building to be two stories tall.
- Underground parking is provided under the first phase (central 3 story portion of the building), and the two (2) story west wing to be constructed with Phase 2.
- The roof is proposed to be sloped and covered with a mixture of clay tile and synthetic shingles.
- The facades of the independent living facility is proposed to be constructed of a combination of stucco, natural stone, and brick in varying tones of beige.
- The units will have a mixture of exterior patios/balconies with fences and gates.
- The building façade has many projections and recesses to help break up the mass of the building and also creating courtyards.
- Mechanical units are proposed to be roof mounted and screened from neighboring properties by a roof well.

SIGNAGE:

- Signage is reviewed and approved at the time of Final Plan application.
- A monument sign is proposed at the northeast corner of the development on a retaining wall with the amenity water feature fronting the sign. A statue of a horse is proposed behind the retaining wall.
- Per Section 16-4-6.13 of the Leawood Development Ordinance, the size of a monument sign within the RP-4 district is as recommended by the Planning Commission and approved by the Governing Body.

LANDSCAPING:

- A general landscape plan is provided. Landscaping is reviewed and approved at the time of Final Plan application.
- 137th Street is lined with existing Ash and Maple street trees. The applicant proposes to add additional street trees on the south side of the sidewalk.
- The applicant proposes to plant street trees on Mission Road at a rate of 1 per 35 lineal feet.
- An existing dense tree line is located along the south property line. The applicant is not proposing changes to the tree line, as it is to be included within a 25' Tree Preservation Easement. The applicant is proposing to supplement the existing tree line with evergreen trees.
- The applicant proposes to line the entry drive on the southwest corner of the site with shade trees.
- A mixture of shade and ornamental trees are also proposed to be planted around the building, detention pond and emergency turnaround.

LIGHTING:

- Lighting is reviewed and approved at the time of Final Plan application. At that time the applicant shall be required to provide a final photometric study and detailed information regarding all proposed light fixtures.
- Pole mounted light fixtures are proposed within the parking lot areas, along the driveways accessing parking areas, the emergency turnaround, around the pickleball courts and roof covered game structure.
- The applicant is also proposing lighted bollards along pedestrian paths and gathering spaces.
- The porches/balconies will have residential porch lights.
- Per the Leawood Development Ordinance, a maximum of 0.5 foot-candles is permitted at the property line, and the source of illumination cannot be visible.

IMPACT FEES:

- **PARK IMPACT FEE:** A Park Impact Fee for the Independent Living Facility is required in the amount of \$400.00 per dwelling unit prior to issuance of a Building Permit. This amount is subject to change by Ordinance.
- **SOUTH LEAWOOD TRANSPORTATION IMPACT FEE:** A South Leawood Transportation Impact Fee is required at the rate of \$625.00 x gross acres x distance from 135th Street to nearest 1/10 of a mile prior to the recording of the Final Plat. This amount is subject to change by ordinance.
- **STREET FEE:** The applicant/owner is responsible for a fee of \$311.00 per linear foot of frontage along Mission Road, which shall be paid prior to the recording of the Final Plat. This amount is subject to change by Ordinance.

GOLDEN CRITERIA:

The character of the neighborhood:

The area is characterized by a collector street (137th Street) and vacant land zoned SD-NCR (Planned Neighborhood Retail) to the north; an arterial (Mission Road) and multifamily residential (Villa Milano) zoned RP-3 (Planned Cluster Attached Residential) and RP-4 (Planned Apartment Residential) to the east, a single family residential subdivision (Leawood Meadows) to the south zoned R-1 (Planned Single Family Low Density Residential), and to the west is vacant land zoned RP-3 (Planned Cluster Attached Residential), and the Villaggio development, partially developed commercial property zoned SD-O (Planned Office) and SD-CR (Planned General Retail).

The zoning and uses of properties nearby:

- North To the north is undeveloped land zoned SD-NCR (Planned Neighborhood Retail), and currently used for agricultural purposes.
- South Directly to the south is the single family residential subdivision of Leawood Meadows, zoned R-1 (Planned Single Family Low Density Residential).
- East East of the subject property, across Mission Road, is Villa Milano, a multifamily residential development zoned RP-3 (Planned Cluster Attached Residential) and RP-4 (Planned Apartment Residential).
- West To the west is The Villaggio at Leawood, zoned SD-CR (Planned General Retail), SD-O (Planned Office), and RP-3 (Planned Cluster Attached Residential).

The Suitability of the subject property for uses to which it has been restricted:

The subject property is suited for an independent living facility with the issuance of a Special Use Permit, which may be granted by the Governing Body after recommendation by the Planning Commission. The Comprehensive Plan designates the property north of 137th Street as Mixed Use, which is a combination of higher density residential, retail, and office. The subject property is zoned RP-4 (Planned Apartment Residential). An independent living facility will create a buffer between the planned Mixed Use to the north of 137th Street and the existing single family residential to the south.

The time for which the property has been vacant:

This property has never been developed, and has been used for agricultural purposes. The property was included as part of a larger Preliminary Plan and Rezoning approval in 2004, at which time the property was zoned to RP-4. A Final Plan for that development was never presented, and that Preliminary Plan has since expired.

The extent to which removal of the restrictions will detrimentally affect nearby property:

Although the site is suitable for an independent living facility, stipulations are necessary to ensure a high quality project that fits with the surrounding uses.

The relative gain to the public health, safety, and welfare due to the denial of the application as compared to the hardship imposed, if any, as a result of denial of the application:

Denial of the application will not result in a relative gain to the public health, safety, or welfare; however, an independent living facility is an approved use within an RP-4 zoning district with the issuance of a Special Use Permit.

The recommendation of the permanent staff:

City Staff recommends approval with the attached stipulations.

Conformance of the requested change to the adopted master plan of the City of Leawood:

The Comprehensive Plan designates this site primarily as Medium Density Residential, with a small portion of with western area of the lot as Open Space. An Independent Living facility is allowed in Medium Density Residential with a Special Use Permit, which requires approval by the Governing Body.

STAFF COMMENTS:

- The applicant proposed a wrought iron fence and gate to be located along a majority of the perimeter of the proposed development including a gate at the western vehicular entry drive into the development. Staff is unresponsive of enclosing the property with a wrought iron fence and gating the western vehicular drive, as well as some of the pedestrian connections to the perimeter sidewalks. The City of Leawood has always promoted openness throughout the City that allows for better connections to be made to adjacent developments and uses. **(Stipulation 7)**
- The applicant worked with the single-family residential subdivision to the south, Leawood Meadows, to provide a buffer between the development and their residents. A 6' tall privacy wall is proposed across the south side of the proposed development, just north of the existing tree line that is to be placed into a Tree Preservation Easement, as a solution for additional buffering and privacy to the adjacent residential homes to the south. Planning staff is unresponsive of the 6' tall privacy wall due to concerns with the maintenance of the Tree Preservation Easement and the possibility of a safety risk created with an area between the privacy wall and the rear lots of the adjacent homes, which will not be easily visible. Staff is concerned that since this area will not be visible it will not be maintained. **(Stipulation 15)**

STAFF RECOMMENDATION:

Staff recommends the Planning Commission approve Case 24-19, The Majestic – Independent Living Facility – request for approval of a Preliminary Plan, Preliminary Plat, and Special Use Permit for an Independent Living Facility, with the following stipulations:

1. The project is limited to construction of a 233,257 sq. ft., 130 unit, three story with underground parking independent living facility on 11.95 acres, for a total F.A.R. of 0.45 and a density of 10.88 dwelling units per acre.
2. A Special Use Permit for an Independent Living facility shall be issued to Majestic Seniority Living.
3. Per Section 16-4-3.6 of the Leawood Development Ordinance, this Special Use Permit shall have a duration of twenty (20) years from approval by the Governing Body, after which shall terminate if no new Special Use Permit is applied for and granted by the City of Leawood Governing Body.
4. The applicant / owner shall be responsible for the following impact fees:
 - a. A Park Impact Fee for the Independent Living Facility is required in the amount of \$400.00 per dwelling unit prior to issuance of a Building Permit. This amount is subject to change by Ordinance.
 - b. A South Leawood Transportation Impact Fee is required at the rate of \$625.00 x gross acres x distance from 135th Street to nearest 1/10 of a mile prior to the recording of the Final Plat. This amount is subject to change by ordinance.
 - c. A Street Fee of \$311.00 per linear foot of frontage along Mission Road shall be paid prior to the recording of the Final Plat. This amount is subject to change by Ordinance.
5. All power lines, utility lines, etc. (both existing and proposed, including utilities and power lines adjacent to and within abutting right-of-way) are required to be placed underground. This must be done prior to final occupancy of any building within the project.
6. Of the total units to be constructed, 80% shall be a minimum of 900 sq. ft. with all remaining units to have a minimum of 750 sq. ft.

7. The applicant shall remove the wrought iron fence and gate along the perimeter of the proposed development including the gate at the western entry drive into the development.
8. All new utility boxes with a height of less than 55 inches, a footprint of equal to or less than 15 square feet in area, or a pad footprint of equal to or less than 15 square feet, may be installed only with the prior approval of the Director of Community Development as being in compliance with this Ordinance.
9. All new utility boxes with a height of 55 inches or greater, a footprint greater than 15 square feet in area, or a pad footprint greater than 15 square feet in area, shall be authorized only by approval of a Special Use Permit prior to construction.
10. Per the Leawood Development Ordinance, where pedestrian routes intersect vehicular access routes, the material of the pedestrian route shall be enhanced and differentiated from the vehicular paving material.
11. All buildings within this development shall conform to the architectural type, style, and scale of the buildings approved by the Governing Body at Final Plan.
12. All downspouts shall be enclosed.
13. All rooftop equipment shall be screened from the public view with an architectural treatment, which is compatible with the building architecture. The height of the screen shall be at least as tall as the utilities being screened.
14. All landscaped areas shall be irrigated.
15. At the time of Final Plan, the applicant shall work with the adjacent residential neighbors and city staff to provide suitable screening between the proposed development and the neighboring homes to the south.
16. At the time of Final Plan application the project shall provide a storm shelter constructed in accordance with ICC-500.
17. At the time of Final Plan application, the applicant/owner shall provide details for all retention ponds including, but not limited to; slopes, landscaping, emergency exit strategies, etc.
18. At the time of Final Plan application, the applicant/owner shall submit a tree inventory that shows all trees 6" caliper or larger, measured 6" above ground level that are proposed for removal. All trees larger than 12" caliper shall be replaced on a 1:1 caliper inch ratio, or replaced with a suitable substitute approved by the Director of Community Development.
19. At the time of Final Plan, the applicant/owner shall provide a tree preservation protection plan that addresses how the trees within the 25' tree preservation easement along the south property line will be protected during and after construction. The plan shall also address the maintenance of the tree preservation easement including removal of dead trees and noxious plant material.
20. Per the Leawood Development Ordinance, street trees shall be planted at a rate of one tree per 35' along all public right-of-way.
21. The applicant/owner shall pay into escrow a fee of \$500 per tree to plant street trees along Mission Road, when Mission Road is improved.
22. At the time of final plan, the landscape plan shall include the following statements:
 - a) All trees shall be callipered and undersized trees shall be rejected.
 - b) All parking lot islands shall be bermed to discourage foot traffic.
 - c) All hedges shall be trimmed to maintain a solid hedge appearance.
 - d) All plant identification tags shall remain until issuance of a Final Certificate of Occupancy.
 - e) Any deviation to the approved final landscape plan shall require the written approval of the landscape architect and the City of Leawood, prior to installation.
 - f) All landscaped open space shall consist of a minimum of 60% living materials.
23. Per the Leawood Development Ordinance, all parking lot light fixtures associated with this project shall be a maximum of 18' in height from grade, including base.

24. Lighting plans, photometric studies and specific light fixtures shall be included in the Final Plan application. Photometric measurements shall include the entire site and extend to all property lines.
25. Per the Leawood Development Ordinance, the maximum foot-candles at the property lines shall be 0.5 foot-candles.
26. Per the Leawood Development Ordinance the source of illumination of all light fixtures shall not be visible.
27. Materials boards shall be submitted at the time of Final Plan application.
28. A 3-D model shall be submitted at the time of Final Plan application.
29. Signage design and calculations will be required at Final Plan application.
30. The Owner/Applicant must establish a funding mechanism to maintain, repair and/or replace all common areas and common area improvements including, but not limited to, streets, walls, and storm water system improvements. The mechanism will include a deed restriction running with each lot in the development that will mandate that each owner must contribute to the funding for such maintenance, repair and/or replacement and that each lot owner is jointly and severally liable for such maintenance, repair and/or replacement, and that the failure to maintain, repair or replace such common areas or common area improvements may result in the City of Leawood maintaining, repairing and replacing said common areas and/or improvements, and the cost incurred by the City of Leawood will be jointly and severally assessed against each lot, and will be the responsibility of the owner(s) of such lot.
31. The applicant shall obtain all approvals and permits from the Public Works Department, per the public works memo (Exhibit A) on file with the City of Leawood Planning and Development Department, prior to recording of the final plat.
32. The applicant shall obtain all approvals from the City of Leawood Fire Department, per the Fire Marshal's memo (Exhibit B) on file with the City of Leawood Planning and Development Department, prior to issuance of a building permit.
33. This Preliminary Plan approval shall lapse in two years, if construction on the project has not begun or if such construction is not being diligently pursued; provided, however, that the developer may request a hearing before the Governing Body to request an extension of this time period. The Governing Body may grant one such extension for a maximum of 12 months for good cause shown by the developer.
34. In addition to the stipulations listed in this report, the developer/property owner agrees to abide by all ordinances of the City of Leawood Development Ordinance, unless a deviation has been granted, and to execute a statement acknowledging in writing that they agree to stipulations one through thirty-four.



City of Leawood

4800 Town Center Drive • Leawood, Kansas 66211
Public Works Department • (913) 339-6700 x 130 • (913) 339-9374 Fax

MEMO

DATE: April 19, 2019

TO: Richard Coleman, Director of Community Development

FROM: Brian Scovill, P.E., City Engineer
Department of Public Works 

SUBJECT: Majestic Senior Living Facility
Case Number: 24-19

The Department of Public Works has reviewed the aforementioned project and would like to make the following stipulations as part of the Planning Commission Approval:

1) Plat:

- a) The developer shall provide 50 feet of Right-of-Way from the section line of Mission Road, a 5-foot-wide Sidewalk Easement shall be provided abutting the Right-of-Way and a 15-foot-wide Utility Easement shall also be provided abutting the Right-of-Way.
- b) No additional Right-of-Way or Easements are needed for 137th Street.

2) Traffic Impact Analysis:

- a) The developer submitted a site comparison traffic study on the existing and proposed uses between the original Villaggio development and the proposed Majestic improvements. The proposed development will increase the total site weekday trips by 30 vehicles. Most of the increase occurs with exiting vehicles in morning and returning vehicles in the evening. Based on this comparison, the proposed redevelopment is expected to have negligible impacts to trip generation.
- b) Developer shall pay the street fee for Mission Road from the south right-of-way line along 137th to the south property line. The street fee shall be paid prior to the City releasing the plat.
- c) The developer shall pay into escrow sixty-thousand (60,000) dollars for traffic signals at 137th Street and Mission Road. This amount is twenty-five (25) percent of the estimated cost for traffic signal design, construction and inspection. This fee shall be paid prior to the City releasing the plat.

3) Storm Water Study:

- a) To meet the BMP requirements, the developer is installing extended wet detention basin, proprietary storm treatment system in treatment train with EWDB, and establish native vegetation on the west edge of the site.
 - i) The review of the final details of the bmp's, such as clean out spacing, pipe arrangement, soil mix, and plants, will be completed at the engineering plan submittal.
 - ii) The Developer shall provide detailed rating for value of proprietary treatment device in treatment train with EWDP with information on the selected device(s) and where they are located on the plans.
 - b) The developer is constructing a detention pond to meet the discharge requirements per APWA design details. The peak flow off the site shall be limited by the capacity of the pipes downstream.
 - c) The site currently sheet flows to the south through Leawood Meadows and then east to the culvert at 138th Street & Mission Road. On-site drainage from impervious surface will be directed to the extended wet detention basin. This will eliminate most of the sheet flow off this site that is flowing to the existing homes to the south. The final detailed grading and improvements plans will be reviewed at the engineering plan submittal stage to confirm the direction of flow.
 - d) The developer shall regrade a roadside stormwater ditch along Mission Road from 137th Street to the culvert inlet north of 138th Street to convey the 100 year storm.
 - e) The Developer shall provide a sand-oil separate for underground parking garage.
 - f) Storm outlets into the extended wet detention basin shall enter 0.5 feet above permanent pool. The Developer shall model tail water for storm pipe capacity in the engineering plans.
- 4) The grading at the Right-of-Way line of Mission Road shall match the elevation of the Right-of-Way line along the east side of Mission Road and the Milano Apartments.
 - 5) The parking lot pavement shall be constructed in accordance to the Leawood Development Ordinance.
 - 6) Permanent structures, including monument signs, shall not be placed within the Right-of-Way and Public Easements.
 - 7) All public improvements shall be designed and constructed in accordance with the City of Leawood Public Improvement Construction Standards as developed by the Department of Public Works (latest revision).
 - 8) The developer shall obtain and submit to the Department of Public Works and the Building Official a copy of the NPDES Land Disturbance Permit issued by the Kansas Department of Health and Environment prior to any grading work at the site.
 - 9) The permit fee for plan review and construction observation shall be five (5) percent of the construction cost for all improvements within the Right-of-Way or Public Easement(s) granted to the City of Leawood. The fee will be charged and collected from the Contractor prior to issuance of the permit from the Department of Public Works.
 - 10) Construction vehicles, including vehicles of construction personnel, shall not be parked within the Right-of-Way. All staging and storage of equipment and/or materials for

private improvements shall be contained on the proposed development unless a Right-of-Way Permit has been obtained by the Contractor.

- 11) The Developer shall repair and restore all damaged areas between the back of curb and the Right-of-Way abutting this lot including any existing damage. This shall include but is not limited to street lighting equipment, traffic signal equipment, sidewalk, storm sewers, grass, etc.
- 12) The Developer shall provide documentation by a licensed professional engineer certifying on City forms the BMPs have been constructed in accordance with City standards and the approved plans.
- 13) The developer shall provide as-built storm sewer information in accordance with our standards. This includes, but is not limited to, vertical and horizontal coordinates of all structures constructed or modified, flow line information at each structure, pipe size information, downstream structure numbers and type of structure. This information shall be provided to us on the Johnson County AIMS coordinate system. The spreadsheet for the data will be provided to the developer after the storm sewer improvements have been completed.
- 14) The plat will not be released for recording until all public permits have been reviewed and approved by the City Engineer.
- 15) The Certificate of Occupancy will not be approved until the above requirements have been met.

If you have any questions, please call me at (913) 663-9134.

Copy: Project File
PW Book

Exhibit B

From: Gene Hunter <geneh@leawood.org>

Sent: Tuesday, April 16, 2019 4:14 PM

To: Mark Klein <markk@leawood.org>

Subject: RE: Case 24-19, The Majestic Senior Living Community - Fire Comments

The Fire Dept. has the following comments:

1. Storm shelter required. If entire garage is to be storm shelter, provide emergency lights, bench seating, supply cabinet and bathroom facilities.
2. Underground parking may require public safety radio amplifier system (BDA), depending on demonstrated radio reception.
3. Care should be taken to minimize length of kitchen exhaust duct to the exterior to avoid excessive cleaning problems.

Gene Hunter, Leawood Fire Marshal



SENIOR LIVING COMMUNITY AT THE MAJESTIC

ARCHITECTURE
LANDSCAPE
ARCHITECTURE
INTERIORS
ENERGY SERVICES

NSPJ

ARCHITECTS, P.A.
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208

P. 913.831.1415
F. 913.831.1563
NSPJARCH.COM
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Index of Drawings

Architectural

A0.00	TITLE SHEET / PROJECT DATA
A1.00	NORTH ELEVATIONS
A1.01	SOUTH ELEVATIONS
A1.02	EAST & WEST ELEVATIONS
A2.00	GARAGE PLAN
A2.01	FIRST FLOOR PLAN
A2.02	SECOND FLOOR PLAN
A2.03	THIRD FLOOR PLAN

Landscape

SP1.00	SITE PLAN
SP1.01	SITE SECTIONS
L1.00	LANDSCAPE PLAN

Electrical

PH1	PHOTOMETRIC PLAN
-----	------------------

Civil

1	AERIAL MAP
2	AERIAL MAP
3	EXISTING CONDITIONS PLAN
4	SITE PLAN
5	GRAVING PLAN
6	NOT USED
7	PRELIMINARY UTILITY PLAN
8	EMERGENCY ACCESS PLAN

Project Team

Owner:

BEAR CLAW CONSTRUCTION MANAGEMENT, LLC
100 E 7TH STREET, SUITE #300
KANSAS CITY, MO 64106
TEL: (816) 659-0199
EMAIL: DHOFFMAN@BCCMCONSTRUCTION.COM
CONTACT: DOUG HOFFMAN

Architect:

NSPJ ARCHITECTS, P.A.
3515 W. 75TH ST, SUITE 201
PRAIRIE VILLAGE, KS 66208
TEL: (913) 831-1415
FAX: (913) 831-1563
EMAIL: THOMBURG@NSPJARCH.COM
CONTACT: TIM HOMBURG

Landscape Architect:

NEARING, STAATS, PRELOGAR, & JONES
AIA CHARTERED ARCHITECTS
3515 W. 75TH ST, SUITE 201
PRAIRIE VILLAGE, KS 66208
TEL: (913) 831-1415
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CONTACT: KATIE MARTINOVIC

Civil Engineer:

SCHLAGEL & ASSOCIATES, P.A.
14920 WEST 107TH STREET
LENEXA, KS 66215
TEL: (913) 492-5158
FAX: (913) 492-8400
EMAIL: JB@SCHLAGELASSOCIATES.COM
CONTACT: JOHN BECKER

Project Information

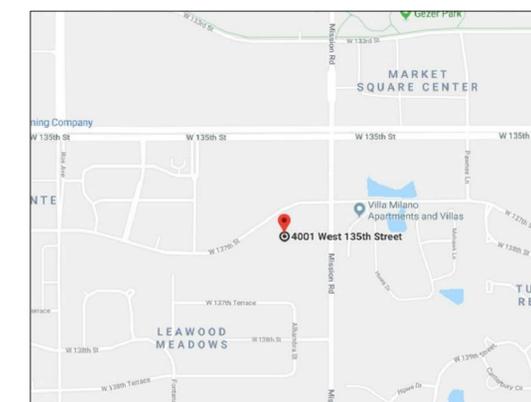
PROJECT ADDRESS:
137TH STREET & MISSION ROAD
LEAWOOD, KS 66224

COUNTY:
JOHNSON COUNTY

ZONING DISTRICT:
RP-4

TOTAL DWELLING UNITS:
130 UNITS

Project Location



A NEW SENIOR LIVING COMMUNITY FOR:

THE MAJESTIC

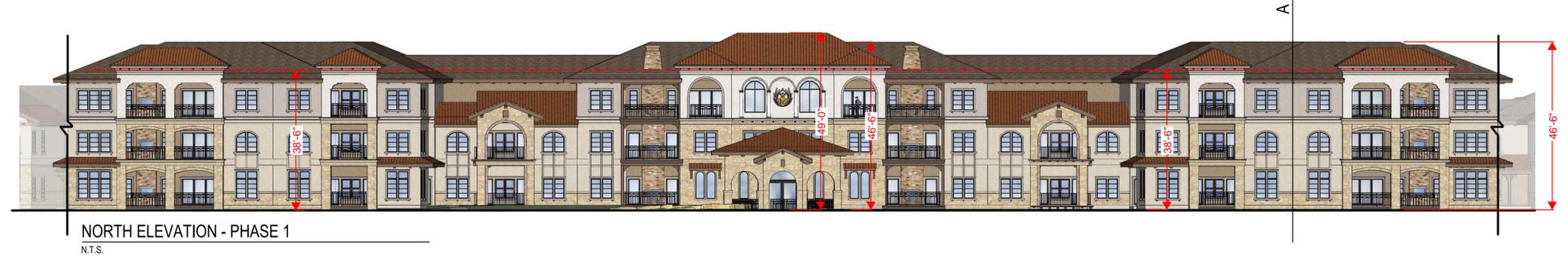
137TH & MISSION ROAD
LEAWOOD, KANSAS

DRAWING RELEASE LOG

- 02.19.2019 - PDP SUBMITTAL
- 03.11.2019 - PDP RESUBMITTAL
- 03.27.2019 - PDP RESUBMITTAL
- 04.12.2019 - PDP RESUBMITTAL
- 04.16.2019 - PDP RESUBMITTAL

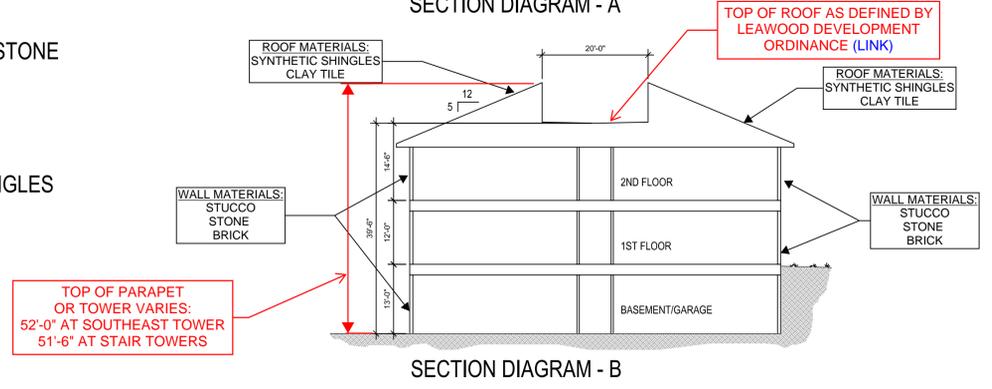
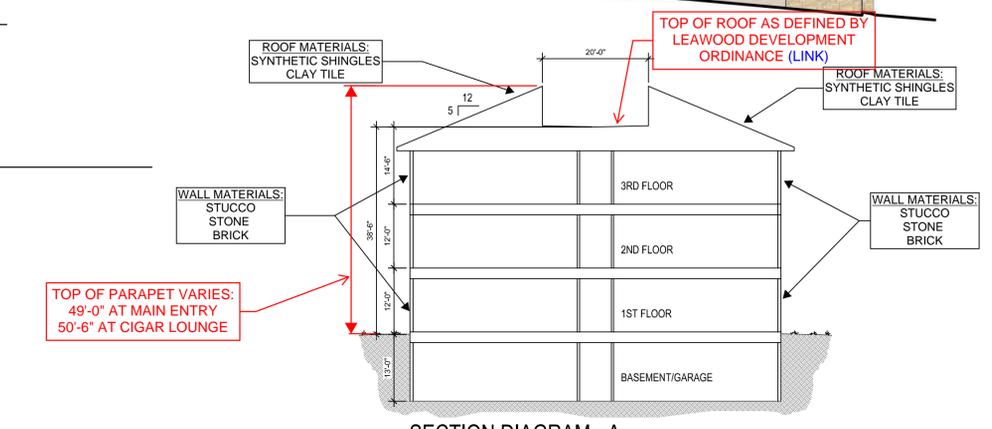
REVISIONS

DATE
04/12/2019
JOB NO.
604717
DRAWN BY:
TWH / JAT
SHEET NO.



VIEW FROM NORTHEAST CORNER

- MATERIAL LEGEND**
- STUCCO 1
 - STUCCO 2
 - STUCCO 3
 - STUCCO 4
 - REAL NATURAL STONE
 - BRICK VENEER
 - SYNTHETIC SHINGLES
 - CLAY TILE





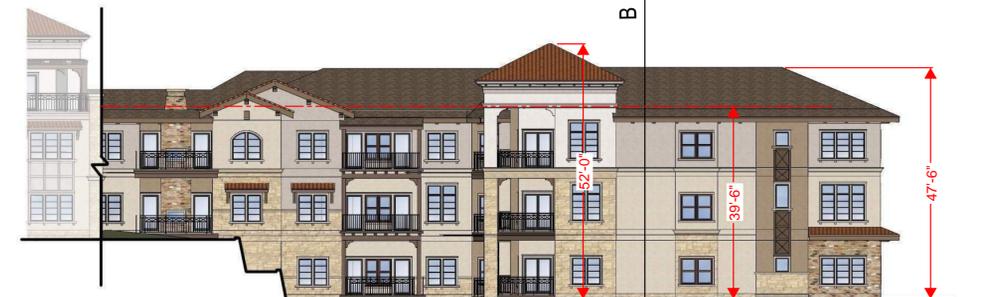
SOUTH ELEVATION - OVERALL
N.T.S.



SOUTH ELEVATION - PHASE 1
N.T.S.



SOUTH ELEVATION - WEST PHASE 2
N.T.S.



SOUTH ELEVATION - EAST PHASE 2
N.T.S.



VIEW OF AMENITY TERRACE

MATERIAL LEGEND

-  STUCCO 1
-  STUCCO 2
-  STUCCO 3
-  STUCCO 4
-  REAL NATURAL STONE
-  BRICK VENEER
-  SYNTHETIC SHINGLES
-  CLAY TILE



VIEW FROM SOUTHEAST CORNER

REVISIONS



MATERIAL LEGEND

-  STUCCO 1
-  STUCCO 2
-  STUCCO 3
-  STUCCO 4
-  REAL NATURAL STONE
-  BRICK VENEER
-  SYNTHETIC SHINGLES
-  CLAY TILE



VIEW OF NORTHWEST CORNER



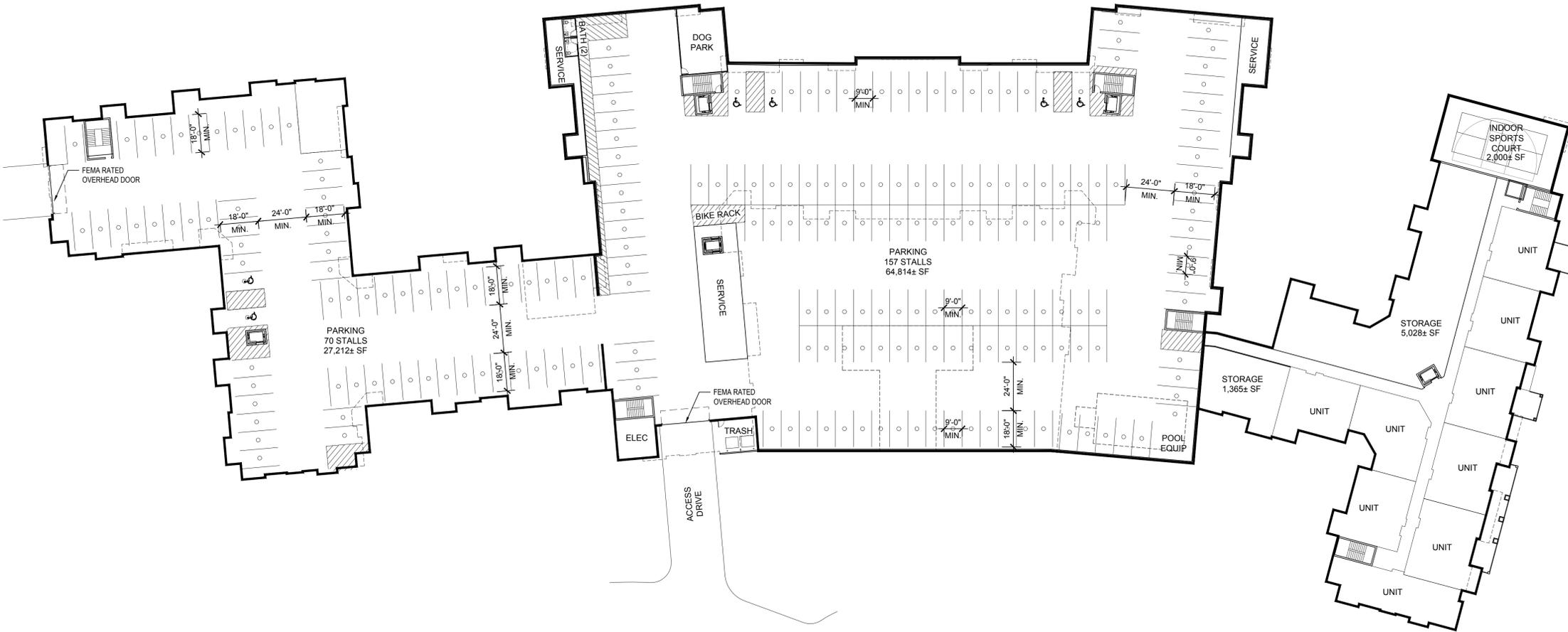
VIEW OF SOUTHEAST CORNER FROM MISSION ROAD

DRAWING RELEASE LOG

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03.11.2019	- PDP RESUBMITTAL
03.27.2019	- PDP RESUBMITTAL
04.12.2019	- PDP RESUBMITTAL
04.16.2019	- PDP RESUBMITTAL

REVISIONS

DATE	04/12/2019
JOB NO.	604717
DRAWN BY:	TWH / JAT
SHEET NO.	



UNDERGROUND PARKING AND BASEMENT PLAN

1" = 30'-0"



UNIT INFORMATION

Unit Name	Unit Size(GSF)
A1	1,137 S.F.
A2	1,233 S.F.
A3	1,156 S.F.
B1	1,288 S.F.
B2	1,312 S.F.
B3	1,228 S.F.
C1	1,348 S.F.
D1	1,251 S.F.
D2	1,284 S.F.
E1	1,532 S.F.
E2	1,690 S.F.
E3	1,542 S.F.
E4	1,653 S.F.

TORNADO SHELTER INFORMATION

Total units	130
Desired Occupancy	390
Area req'd per occ. (5 S.F.)	1950
# of 10 s.f. HC Area Req'd (1/200 occ.)	19.5
REQUIRED S.F.	1,970 S.F.
PROVIDED S.F.	43,381 S.F.

PARKING REQ. (2 PER UNIT)

GARAGE	227
SURFACE	50
PROVIDED	277
REQ. (2 PER UNIT)	260

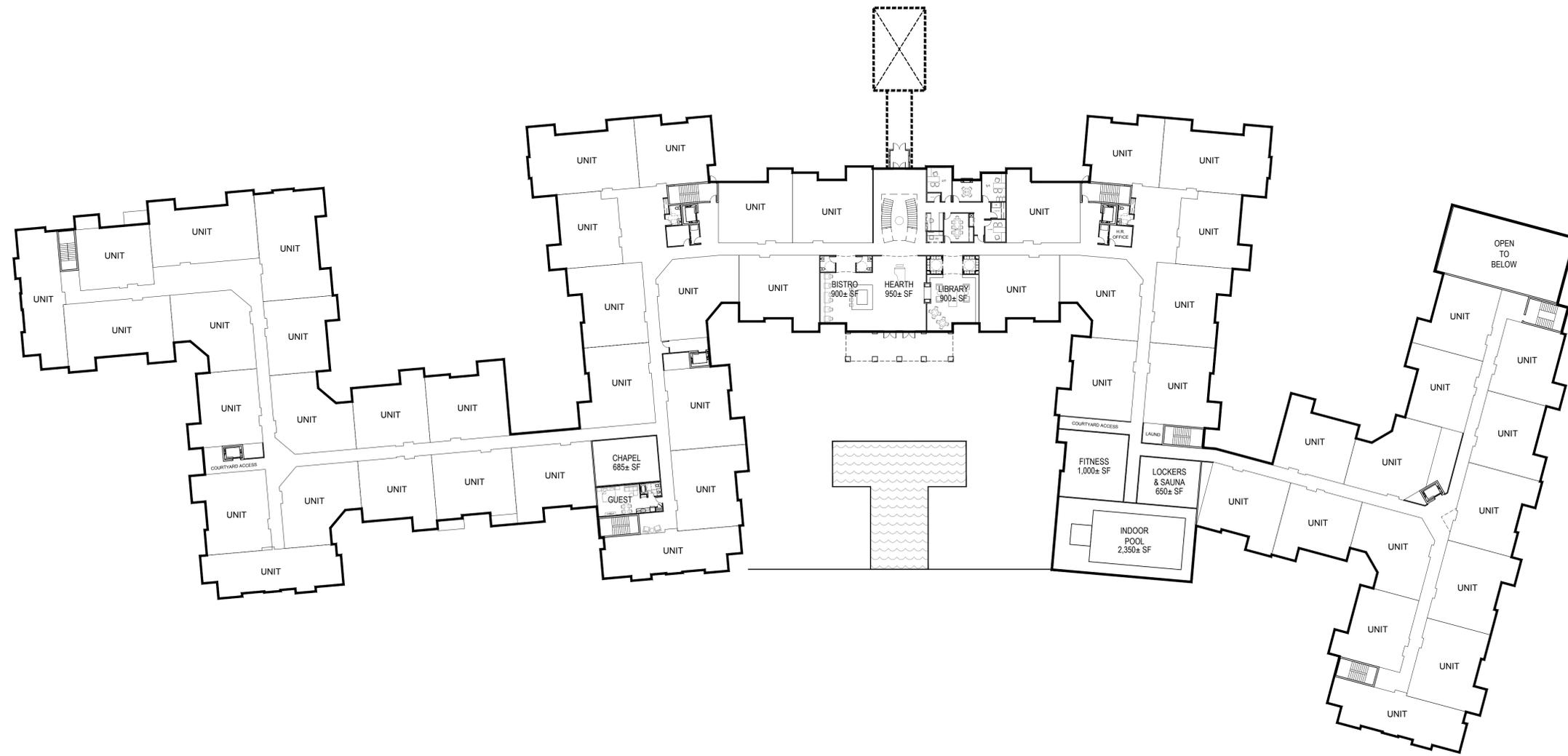


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- 04.12.2019 - PDP RESUBMITTAL
- 04.16.2019 - PDP RESUBMITTAL

REVISIONS

DATE	REVISION
04/12/2019	JOB NO. 604717
	DRAWN BY: TWH / JAT
	SHEET NO.



FIRST FLOOR PLAN
1" = 30'-0"



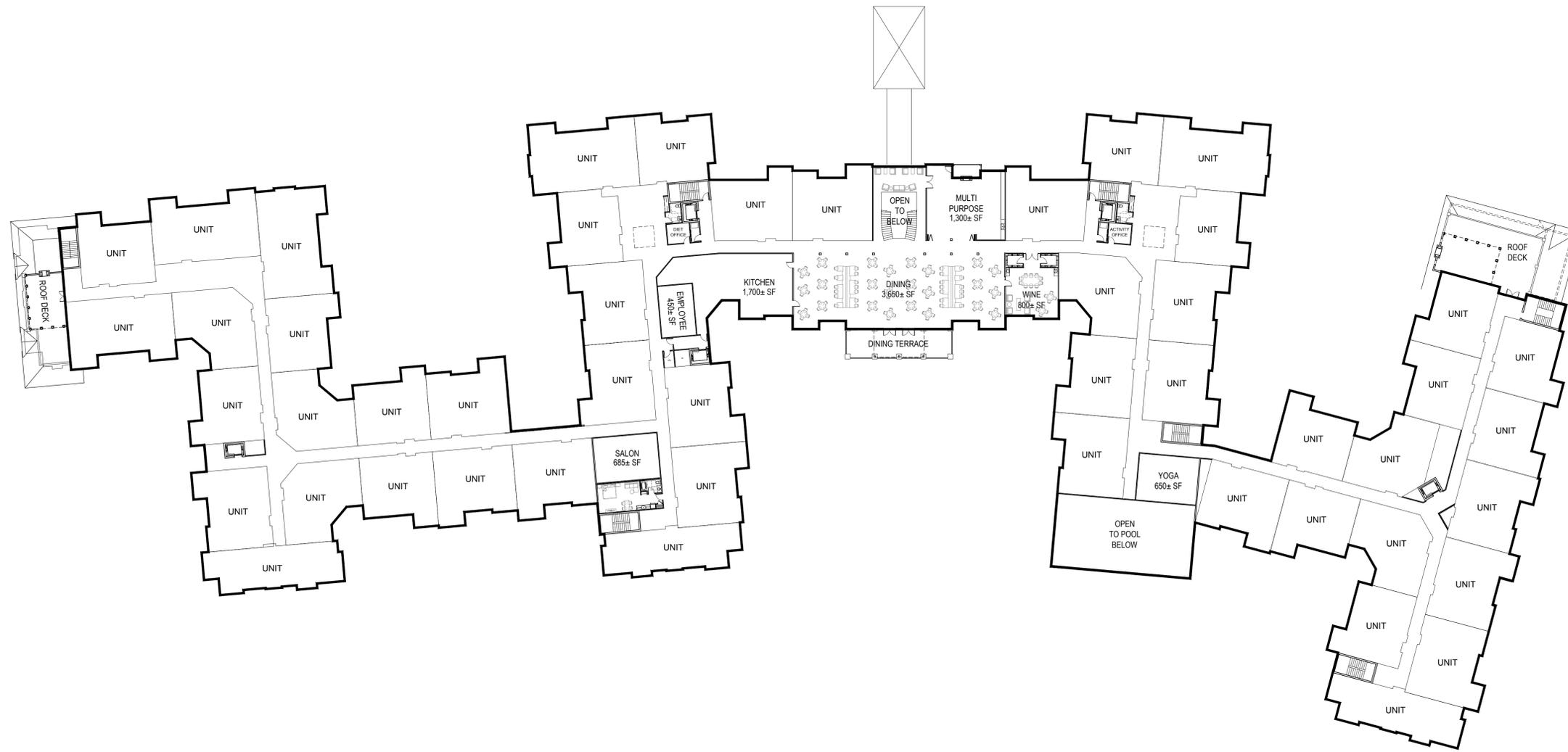
A NEW SENIOR LIVING COMMUNITY FOR:
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04.16.2019	- PDP RESUBMITTAL

REVISIONS

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04/12/2019
JOB NO.
604717
DRAWN BY:
TWH / JAT
SHEET NO.



SECOND FLOOR PLAN
1" = 30'-0"



DRAWING RELEASE LOG

● 02.19.2019 - PDP SUBMITTAL
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● 03.27.2019 - PDP RESUBMITTAL
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● 04.16.2019 - PDP RESUBMITTAL

REVISIONS

DATE	04/12/2019
JOB NO.	604717
DRAWN BY:	TWH / JAT
SHEET NO.	



THIRD FLOOR PLAN
1" = 30'-0"



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LANDSCAPE
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ENERGY SERVICES
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F. 913.831.1563
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ARCHITECTS^{PA}
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208



A NEW SENIOR LIVING COMMUNITY FOR:
THE MAJESTIC
137TH & MISSION ROAD
LEAWOOD, KANSAS

- DRAWING RELEASE LOG
- 02.19.2019 - PDP SUBMITTAL
 - 03.11.2019 - PDP RESUBMITTAL
 - 03.27.2019 - PDP RESUBMITTAL
 - 04.12.2019 - PDP RESUBMITTAL
 - 04.16.2019 - PDP RESUBMITTAL

REVISIONS

DATE
04/12/2019
JOB NO.
604717
DRAWN BY:
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SHEET NO.

AMENITIES:

- | | |
|---|---|
| 1. POOL WITH WATERFALL | 18. GATHERING AREA W/ WATER FEATURE & SEATING |
| 2. FABRIC POOL CABANAS | 19. POND FOUNTAIN |
| 3. SPA | 20. POND W/ ROCK EDGE |
| 4. COLORED CONCRETE PAVEMENT | 21. UNIT PATIOS W/ FENCE & GATE - 3' HT. |
| 5. POOL ENCLOSURE FENCE & GATES TO COURTYARD - 4' HT. | 22. UNIT PATIOS W/ FENCE, NO GATE - 3' HT. |
| 6. GRAND STAIRS TO LOWER LEVEL | 23. RETAINING WALLS |
| 7. ZERO ENTRY SHALLOW POOL/WATERFALL CATCH BASIN | 24. PUTTING GREEN |
| 8. FIRE PIT WITH SEATING | 25. FISHING PIER |
| 9. ROOF COVERED GRILL STRUCTURE | 26. WALKING PATH |
| 10. ROOF COVERED LOUNGE & TV WALL STRUCTURE | 27. OPEN SPACE/UNDERGROUND DETENTION |
| 11. CONCRETE FIRE LANE - COLORED & STAMPED CONCRETE | 28. SITE FENCE & GATES - 5' HT. |
| 12. FOUNTAIN WITH PLANTING BED | 29. GARAGE ENTRY |
| 13. DOG PARK W/ SHADE SAIL STRUCTURE, BENCHES, TRASH CAN, & PERIMETER FENCE & GATE - 4' HT. | 30. SURFACE PARKING STALLS |
| 14. PICKLEBALL COURTS | 31. EXISTING TREES TO REMAIN |
| 15. ROOF COVERED GAME AREA WITH STRUCTURE | 32. 6' TALL SCREEN WALL |
| 16. COMMUNITY GARDEN AREA W/ RAISED PLANTERS | 33. ENTRY BRIDGE |
| 17. ENTRY WATER FEATURE W/ SIGNAGE | 34. BERM - SEE CIVIL FOR HT. |

*ALL ACCESSORY STRUCT. TO BE 15' MAX.



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A NEW SENIOR LIVING COMMUNITY FOR:

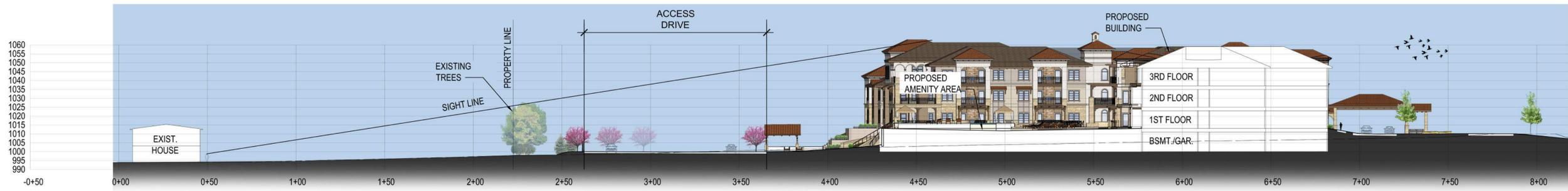
THE MAJESTIC

137TH & MISSION ROAD
LEAWOOD, KANSAS

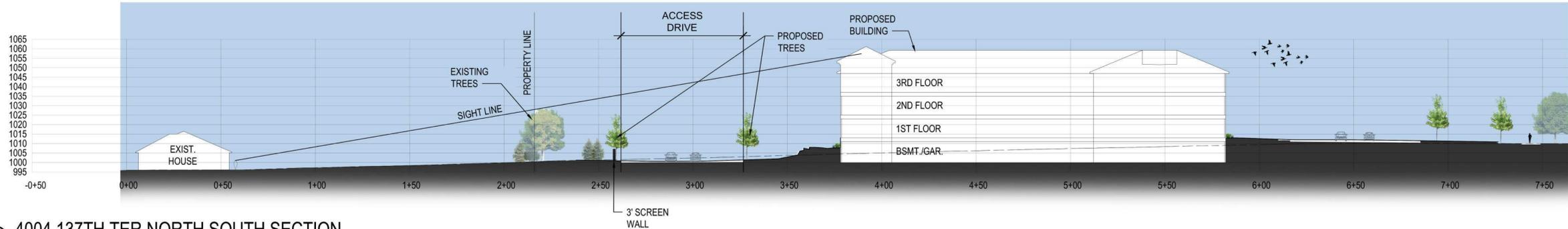
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REVISIONS

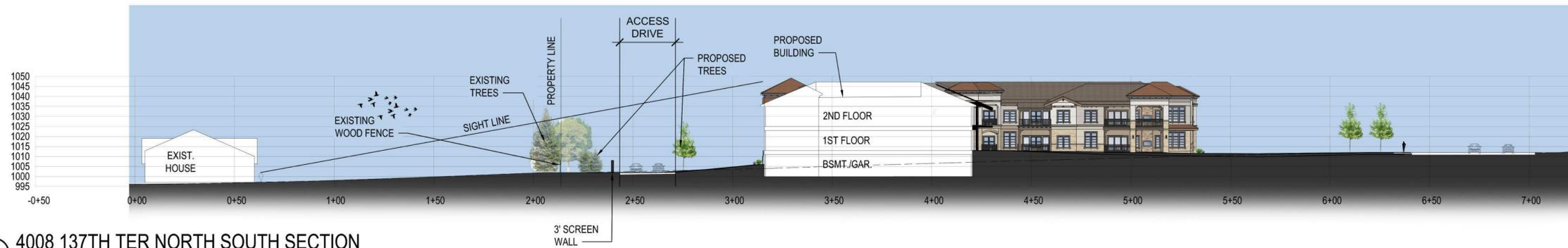
DATE
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JOB NO.
604717
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SHEET NO.



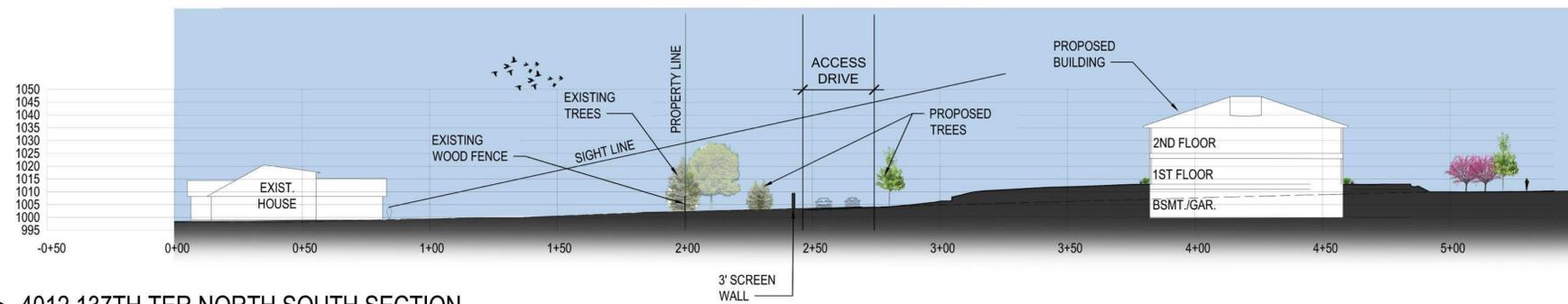
4 4000 137TH TER NORTH SOUTH SECTION
1" = 30'-0"



3 4004 137TH TER NORTH SOUTH SECTION
1" = 30'-0"



2 4008 137TH TER NORTH SOUTH SECTION
1" = 30'-0"



1 4012 137TH TER NORTH SOUTH SECTION
1" = 30'-0"



KEY PLAN
1" = 200'-0"



DRAWING RELEASE LOG

- 02.19.2019 - PDP SUBMITTAL
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REVISIONS

DATE
03/27/2019
JOB NO.
604717
DRAWN BY:
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SHEET NO.

PLANT LIST:

Common Name	Botanical Name	Size	Notes
Existing Trees to Remain			
Shade Trees			
AFM Autumn Fantasy Maple	Acer x fermonii 'Autumn Fantasy'		
BCY Common Baldcypress	Taxodium distichum	4" Cal.	B&B
FEM Frontier Elm	Ulmus carpinifolia x parvifolia 'Frontier'	4" Cal.	B&B
LLL Greenspire Littleleaf Linden	Tilia cordata 'Greenspire'	4" Cal.	B&B
OGM October Glory Red Maple	Acer rubrum 'October Glory'	4" Cal.	B&B
ROK Red Oak	Quercus rubra	4" Cal.	B&B
SSM State Street Maple	Acer miyabei 'Morton'	4" Cal.	B&B
SWO Swamp White Oak	Quercus bicolor	4" Cal.	B&B
WOK Willow Oak	Quercus phellos	4" Cal.	B&B
ZEL Zelkova	Zelkova serrata 'Green Vase'	4" Cal.	B&B
Evergreen Trees			
BSP Bakeri Blue Spruce	Picea pungens 'Bakeri'	8' Ht.	B&B
GGA Green Giant Arborvitae	Thuja plicata	8' Ht.	B&B
NWS Norway Spruce	Picea abies	8' Ht.	B&B
PFJ Perfecta Juniper	Juniperus chinensis 'Perfecta'	8' Ht.	B&B
RSS Riverside Spruce	Picea omorika 'Riverside'	8' Ht.	B&B
SBS Serbian Spruce	Picea omorika	8' Ht.	B&B
WSS Wellspire Black Spruce	Picea mariana 'Wellspire'	8' Ht.	B&B
Ornamental Trees			
ERB Eastern Redbud	Cercis canadensis	2" cal	8' Ht.
HGC Harvest Gold Crabapple	Malus 'Harvest Gold'	2" cal	8' Ht.
JTL Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	2" cal	8' Ht.
MAG Evergreen Magnolia	Magnolia grandiflora 'DD Blanchard'	2" cal	8' Ht.
PFC Prairiefire Crabapple	Malus x 'Prairiefire'	2" cal	8' Ht.
RVB River Birch	Betula nigra	2" cal	8' Ht.
SSC Spring Snow Crabapple	Malus x 'Spring Snow'	2" cal	8' Ht.
SBM Sweetbay Magnolia	Magnolia virginiana v. australis	2" cal	8' Ht.
SVB Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	2" cal	8' Ht.
WBD Whitebud	Cercis canadensis 'White Bud'	2" cal	8' Ht.
PLANTING BEDS			
SHRUBS TO MEET PERIMETER LANDSCAPE REQUIREMENT			

THE ABOVE PLANT LIST IS A RANGE OF POTENTIAL PLANT MATERIAL AND IS SUBJECT TO CHANGES.

LANDSCAPE REQUIREMENTS (LEAWOOD):

PERIMETER LANDSCAPING ADJACENT TO PUBLIC RIGHTS-OF-WAY (16-4-7.3):

- 1 STREET TREE / 35 L.F. OF STREET FRONTAGE
- 1 ORNAMENTAL TREE / 12 L.F.
- 1 SHRUB / 5 L.F.

	REQUIRED:	PROVIDED:
W 137TH ST = +/-1415 L.F. / 35 = / 12 = / 5 =	41 STREET TREES 118 ORN TREES (OR 1 MEDIUM/LARGE TREE PER 2) 283 SHRUBS	18 NEW TREES & 23 EXISTING 58 ORN TREES 30 SHADE TREES 283 SHRUBS
MISSION RD = +/-612 L.F. / 35 = / 12 = / 5 =	18 STREET TREES 51 ORN TREES (OR 1 MEDIUM/LARGE TREE PER 2) 122 SHRUBS	18 STREET TREES 29 ORN TREES 11 SHADE TREES 122 SHRUBS

PERIMETER LANDSCAPING NOT ADJACENT TO A PUBLIC RIGHT-OF-WAY (16-4-7.3):
BUFFER 10' IN WIDTH

INTERIOR LANDSCAPING: 10% OF TOTAL SITE =	49,130 SF REQUIRED
	49,130 SF + PROVIDED

1 TREE / 3,000 SF OF LANDSCAPED OPEN SPACE

	REQUIRED:	PROVIDED:
49,130 SF / 3,000 SF =	17 TREES	17 TREES

INTERIOR LANDSCAPING OF PARKING LOTS:
1. 1 TREE / 10 PARKING SPACES

50 PARKING SPACES / 10 =	5 TREES	5 TREES
--------------------------	---------	---------

GENERAL NOTES

- EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
- THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - A. CREEPING GROUND COVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
 - B. ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
 - C. ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - D. ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- IN THE EVENT OF WORK IN OR ON THE JCW SANITARY MAIN. ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.



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LEAWOOD, KANSAS

DRAWING RELEASE LOG

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REVISIONS

DATE	DESCRIPTION
04/12/2019	JOB NO. 604717
	DRAWN BY: TWH / JAT
	SHEET NO.

CIMARRON LED

Model: CL1-A-30L-U-2-30K-XX
 Type: 30 LED
 Approvals: HUBBELL Outdoor Lighting

PRODUCT IMAGES

APPROXIMATE DIMENSIONS

ORDERING INFORMATION

Hubbell Outdoor Lighting • 111 Millstream Boulevard • Lawrenceville, GA 30043 • Phone: 800-878-3333
 Do not cut or modify this drawing for other projects, product modifications are subject to change without notice.
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KIM LIGHTING Pavilion® Bollard PA7R

Model: PA7R
 Type: Bollard
 Approvals: IK10

FEATURES

- Bluetooth enabled RGBW aspect
- PA System capability
- Integral NEMA 3R Enclosure
- Dual recessable control panel
- PA System capability
- IP66 optical system

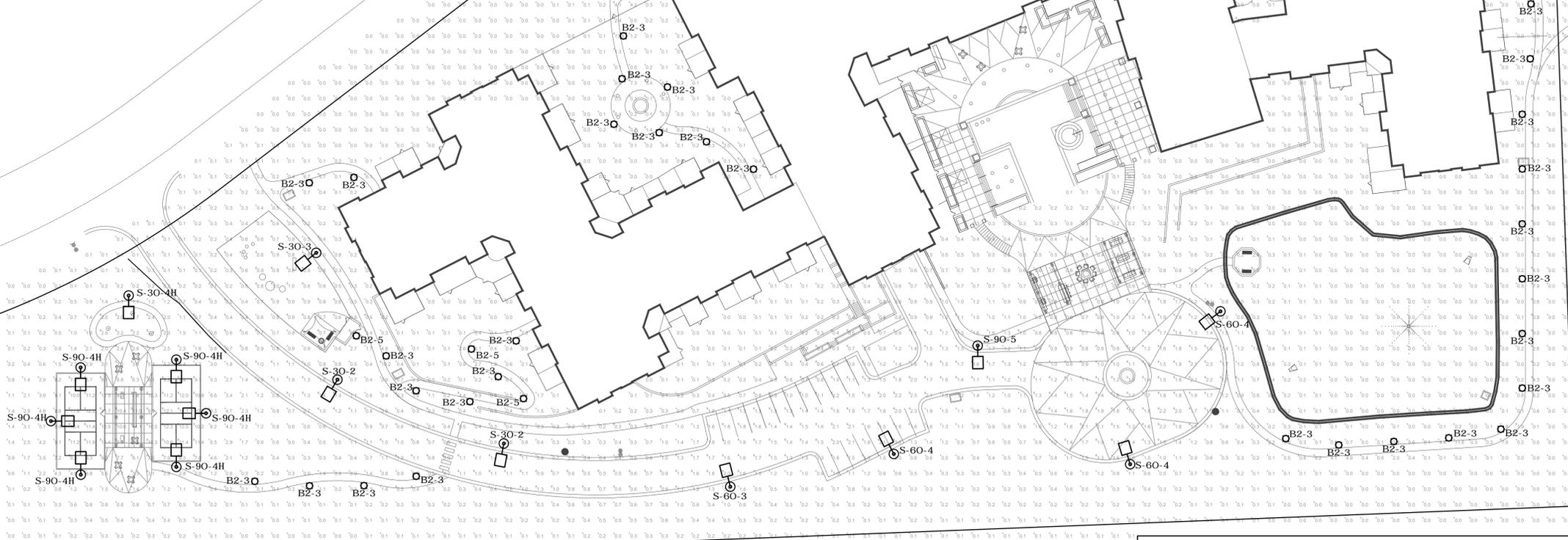
CERTIFICATIONS

IK10

ORDERING CODE

Model	Finish	Color	Height	Options
PA7R	Black	White	1200	1. 1000-1200mm (33'-0" to 39'-6")
PA7R	Black	White	1200	2. 1000-1200mm (33'-0" to 39'-6")
PA7R	Black	White	1200	3. 1000-1200mm (33'-0" to 39'-6")
PA7R	Black	White	1200	4. 1000-1200mm (33'-0" to 39'-6")
PA7R	Black	White	1200	5. 1000-1200mm (33'-0" to 39'-6")

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 P.O. Box 5666 | P.O. Box 200,2005 | www.kimlighting.com | Rev. May 15, 2018



SITE PHOTOMETRIC PLAN
 SCALE: 1"=40'

LUMINAIRE SCHEDULE						LUMINAIRE SCHEDULE CONTINUED					
Symbol	Label	Qty	Manufacturer	Model #	SOURCE/LUMENS/COLOR TEMP LLF Watts	Symbol	Label	Qty	Manufacturer	Model #	SOURCE/LUMENS/COLOR TEMP LLF Watts
☉	S-30-2	3	HUBBELL	CL1-A-30L-U-2-30K-XX ON 25' SQUARE STEEL POLE W/ 3' BASE	LED/6,500 LUMENS/3000K 0.95 85	☉	S-90-4H	6	HUBBELL	CL1-A-90L-U-4-30K-XX-BC ON 15' SQUARE STEEL POLE W/ 3' BASE	LED/19,000 LUMENS/3000K 0.95 205
☉	S-30-3	1	HUBBELL	CL1-A-30L-U-3-30K-XX ON 25' SQUARE STEEL POLE W/ 3' BASE	LED/6,500 LUMENS/3000K 0.95 85	☉	S-90-5	1	HUBBELL	CL1-A-90L-U-5-30K-XX ON 25' SQUARE STEEL POLE W/ 3' BASE	LED/19,000 LUMENS/3000K 0.95 205
☉	S-30-4H	1	HUBBELL	CL1-A-30L-U-4-30K-XX-BC ON 15' SQUARE STEEL POLE W/ 3' BASE	LED/6,500 LUMENS/3000K 0.95 85	○	B1-3	4	HUBBELL	PA7R-FT-NU-3-12L-10-3K7-XX-XX-INV-	LED/1,000 LUMENS/3000K 0.95 14
☉	S-60-3	4	HUBBELL	CL1-A-60L-U-3-30K-XX ON 25' SQUARE STEEL POLE W/ 3' BASE	LED/12,500 LUMENS/3000K 0.95 135	○	B1-5	3	HUBBELL	PA7R-FT-NU-3-12L-10-3K7-XX-XX-INV-	LED/1,000 LUMENS/3000K 0.95 14
☉	S-60-4	3	HUBBELL	CL1-A-60L-U-4-30K-XX ON 25' SQUARE STEEL POLE W/ 3' BASE	LED/12,500 LUMENS/3000K 0.95 135	○	B2-3	48	HUBBELL	PA7R-FT-NU-3-12L-10-3K7-XX-XX-INV-	LED/2,000 LUMENS/3000K 0.95 22
☉	S-60-5	1	HUBBELL	CL1-A-60L-U-5-30K-XX ON 25' SQUARE STEEL POLE W/ 3' BASE	LED/12,500 LUMENS/3000K 0.95 135	○	B2-4	1	HUBBELL	PA7R-FT-NU-3-12L-10-3K7-XX-XX-INV-	LED/2,000 LUMENS/3000K 0.95 22
						○	B2-5	3	HUBBELL	PA7R-FT-NU-3-12L-10-3K7-XX-XX-INV-	LED/2,000 LUMENS/3000K 0.95 22

STATISTICS

Description	Avg	Max	Min	Max/Min	Avg/Min
Parking - North	1.5	2.4	0.5	4.8/1	3.0/1
Parking - South	1.3	3.0	0.4	7.5/1	3.3/1
Walkway - North	-	-	0.2	-	-
Walkway - South	-	-	0.2	-	-
Special Area - Pickleball	8.0	12.3	1.4	8.8/1	5.7/1
Special Area - Dog park	1.0	6.2	0.5	12.4/1	2.0/1

BC ENGINEERS INCORPORATED
 5720 Reeder
 Shawnee, Ks. 66203
 (913)262-1772

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3/27/2019

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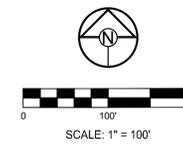
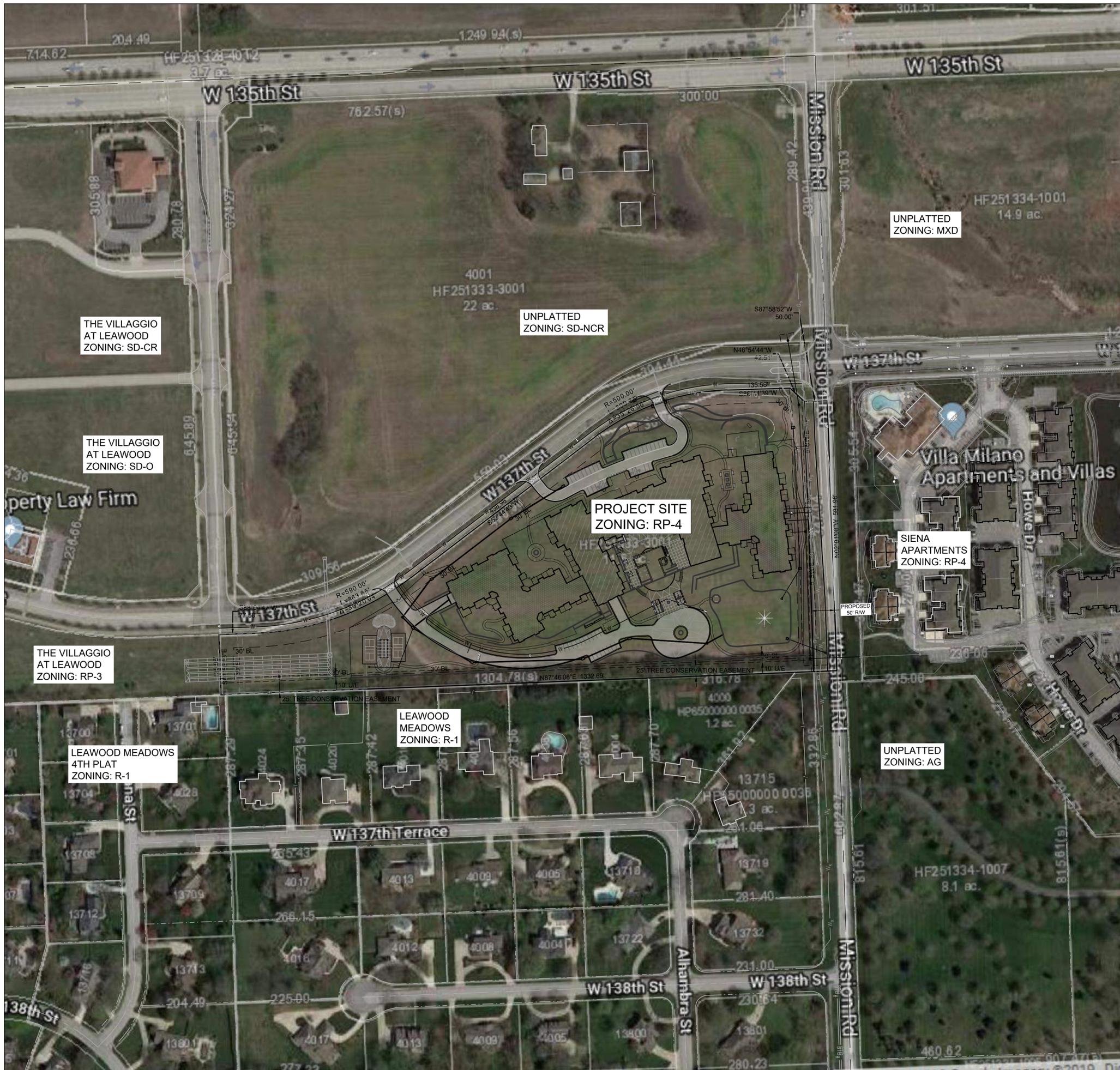
A SITE PHOTOMETRIC FOR:
THE MAJESTIC
 137TH & MISSION ROAD
 LEAWOOD, KANSAS

ISSUE DATE:
 3-27-19

REVISION:

SHEET TITLE
 SITE PHOTOMETRIC PLAN

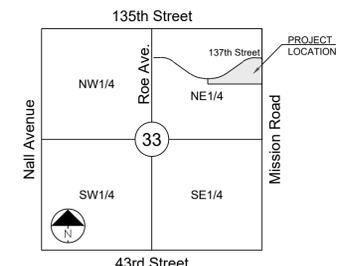
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Sheet List Table	
Sheet Number	Sheet Title
1	AERIAL MAP
2	AERIAL MAP
3	EXISTING SITE PLAN
4	SITE PLAN
5	GRADING PLAN
6	SITE SECTION PLAN
7	PRELIMINARY UTILITY PLAN
8	EMERGENCY ACCESS PLAN

NOTE:

1. NO FEMA IDENTIFIED FLOODPLAIN IS LOCATED ON THE PROPOSED PROPERTY PER FLOOD INSURANCE RATE MAP PANEL NO. 20091C0084G. THERE IS CURRENTLY NO WORK PROPOSED IN THE REGULATED FLOODPLAIN.
2. RETAIN WALLS SHALL BE CONSTRUCTED OF MECHANICALLY STABILIZED EARTH (MSE) RETAINING WALLS.
3. ALL INTERIOR SIDEWALKS SHALL BE 5 FEET WIDE.

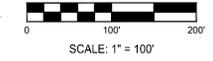


SECTION 33-13-25
LOCATION MAP
 SCALE 1" = 2000'

**MAJESTIC SENIOR LIVING
 PRELIMINARY DEVELOPMENT PLAN
 4001 WEST 137TH STREET
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
03/08/2019	CITY COMMENTS
03/27/2019	CITY COMMENTS
04/11/2019	PUBLIC MEETING
04/16/2019	CITY COMMENTS
07/19/2019	
10/05/2019	

AERIAL MAP



Leawood Development Ordinance
RP-4 Zoning - Planned Apartment Residential (4,000 s.f. Per Dwelling)

	Required	Provided
Front Yard Bldg. Setback:	30 feet	30 ft.
Front Parking Setback:	N/A feet	30 ft.
Side Yard Bldg. Setback:	30 feet	30 ft
Side Yard Parking Setback:	N/A feet	N/A ft
Rear Yard Building Setback:	30 feet	30 ft
Rear Yard Parking Setback:	N/A feet	30 ft
Height Limit (# of Stories):	40 feet	39.5 ft (2 - 3 Stories)

Projected Start Dates:
 Phase 1 - Start: Fall 2019
 End: Spring 2021
 Phase 2 - Start: Fall 2021
 End: Fall 2022

Total Land Area = 520,531.38 s.f. (11.95 Ac.)
 Mission Road Additional R/W = 29,101.53 s.f. (0.67 Ac.)
 Net Area = 491,429.85 s.f. (11.28 Ac.)

Phase 1 Floor Area = 127,068 s.f.
 Phase 2 Floor Area = 106,189 s.f.
 Total Floor Area = 233,257 s.f.

Number of Dwelling Units = 130
 Phase 1 = 60
 Phase 2 = 70
 East Wing = 37
 West Wing = 33

Phase 1 F.A.R. = 24.41
 Phase 2 F.A.R. = 20.40
 Phase Total F.A.R. = 44.81

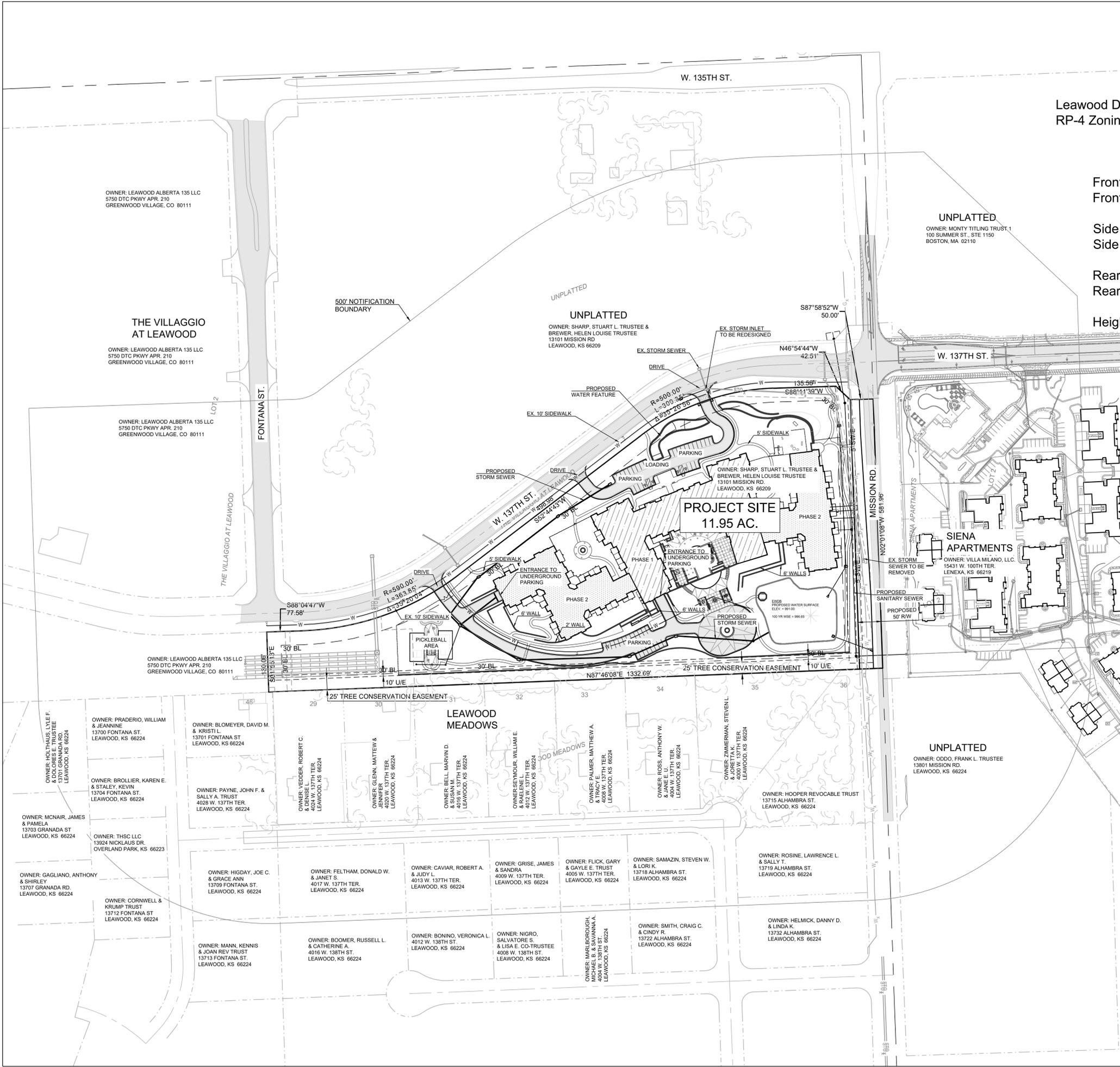
Residential 40.1
 Open Area 59.9

Parking Required = 2 per Unit = 130 x 2 = 260 stalls (min.)

Parking Provided = 277 spaces (227 Garage)

NOTE:

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- ALL INTERIOR SIDEWALKS SHALL BE 5 FEET WIDE.



SCHLAGEL & ASSOCIATES, P.A.
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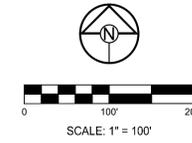


**MAJESTIC SENIOR LIVING
 PRELIMINARY DEVELOPMENT PLAN
 4001 WEST 137TH STREET
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
03/09/2019	CITY COMMENTS
03/27/2019	CITY COMMENTS
04/11/2019	PUBLIC MEETING
04/16/2019	CITY COMMENTS
07/19/2019	DATE PREPARED
19-005	PROJ. NUMBER

AERIAL MAP

SHEET



EXISTING ZONING	RP-4
PROPOSED ZONING	RP-4
EXISTING USE	VACANT
PROPOSED USE	PLANNED APARTMENT RESIDENTIAL
SITE AREA	11.95 ACRES
FRONT YD. BLDG. SETBACK	30 FEET MIN.
SIDE YD. BLDG. SETBACK	30 FEET MIN.
REAR YD. BLDG. SETBACK	30 FEET MIN.
HEIGHT LIMIT	40 FEET MAX.
DWELLING SIZE	4,000 SQ. FT. MIN PER DWELLING

NOTES

1. NO FEMA IDENTIFIED FLOODPLAIN IS LOCATED ON THE PROPOSED PROPERTY PER FLOOD INSURANCE RATE MAP PANEL NO. 20091C0084G. THERE IS CURRENTLY NO WORK PROPOSED IN THE REGULATED FLOODPLAIN.
2. ALL STREETS AND PUBLIC IMPROVEMENTS SHALL COMPLY WITH THE CITY OF LEAWOOD STANDARDS.
3. EASEMENTS SHOWN ARE FOR GENERAL REFERENCE. ACTUAL LOCATION OF EASEMENTS MAY VARY ON FINAL PLAT.
4. ALL LOTS TO BE SERVED BY JOHNSON COUNTY WASTEWATER SANITARY SEWER.
5. ALL LOTS TO BE SERVED BY WATERONE WATER.
6. SEE VICINITY PLAN FOR ADJACENT PLATTED STREET AND SUBDIVISION INFORMATION WITHIN 400 FEET.
7. ALL SIDEWALKS SHALL BE 5 FEET IN WIDTH UNLESS INDICATED OTHERWISE ON THE PLAN.
8. ALL PRIMARY RESIDENCE AND ACCESSORY USES SHALL COMPLY WITH THE CURRENT CODE STANDARDS AT THE TIME OF PLAT APPROVAL.

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 #E-296 #LA-29 #LS-54

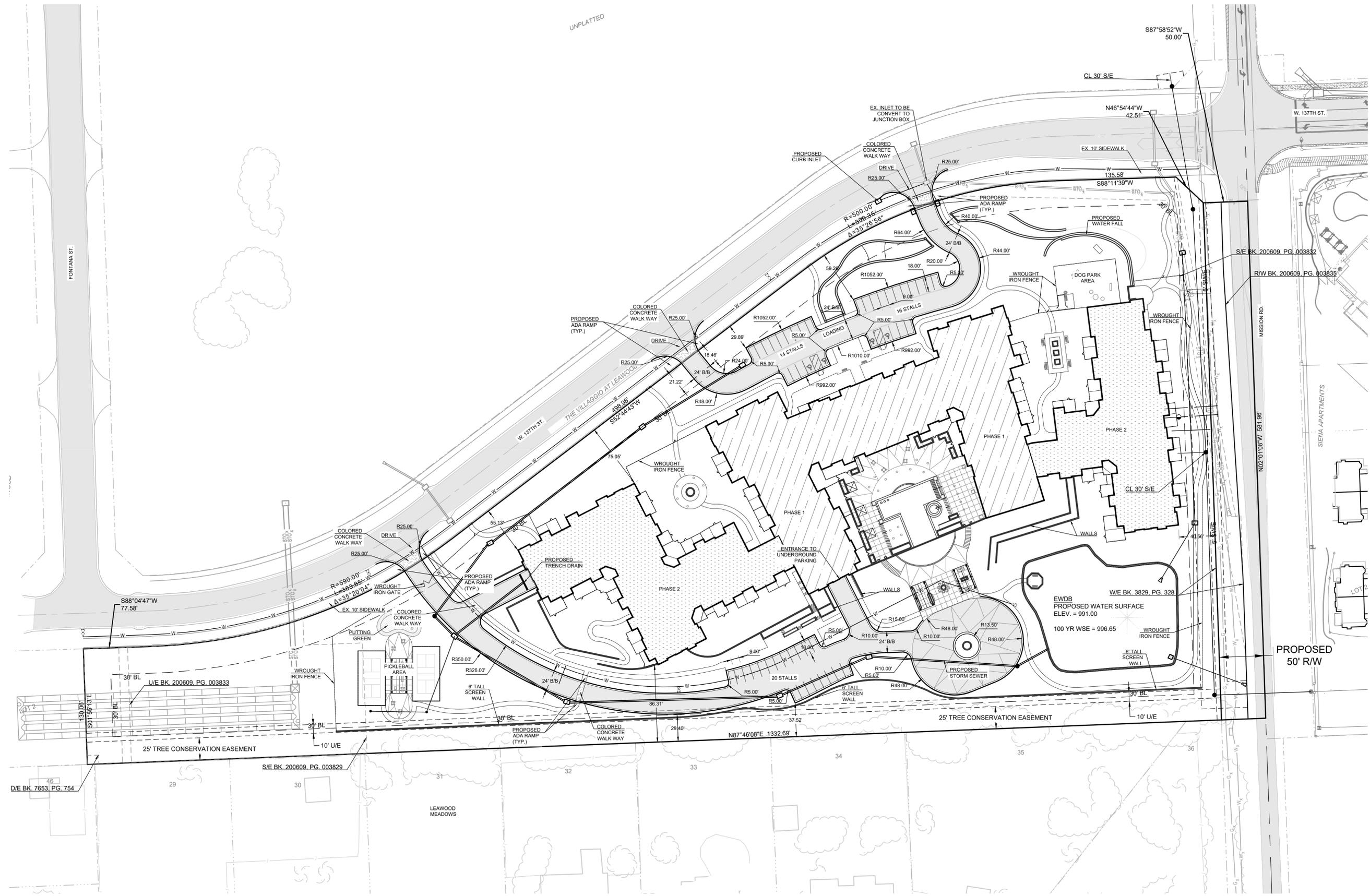
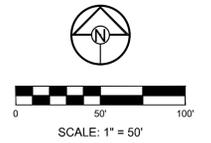
**MAJESTIC SENIOR LIVING
 PRELIMINARY DEVELOPMENT PLAN
 4001 WEST 137TH STREET
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
03/08/2019	CITY COMMENTS
03/27/2019	CITY COMMENTS
04/11/2019	PUBLIC MEETING
04/16/2019	CITY COMMENTS
07/19/2019	
10/05	

**EXISTING
 CONDITIONS
 PLAN**

NOTE:

1. NO FEMA IDENTIFIED FLOODPLAIN IS LOCATED ON THE PROPOSED PROPERTY PER FLOOD INSURANCE RATE MAP PANEL NO. 20091C0084G. THERE IS CURRENTLY NO WORK PROPOSED IN THE REGULATED FLOODPLAIN.
2. RETAIN WALLS SHALL BE CONSTRUCTED OF MECHANICALLY STABILIZED EARTH (MSE) RETAINING WALLS.
3. ALL INTERIOR SIDEWALKS SHALL BE 5 FEET WIDE.



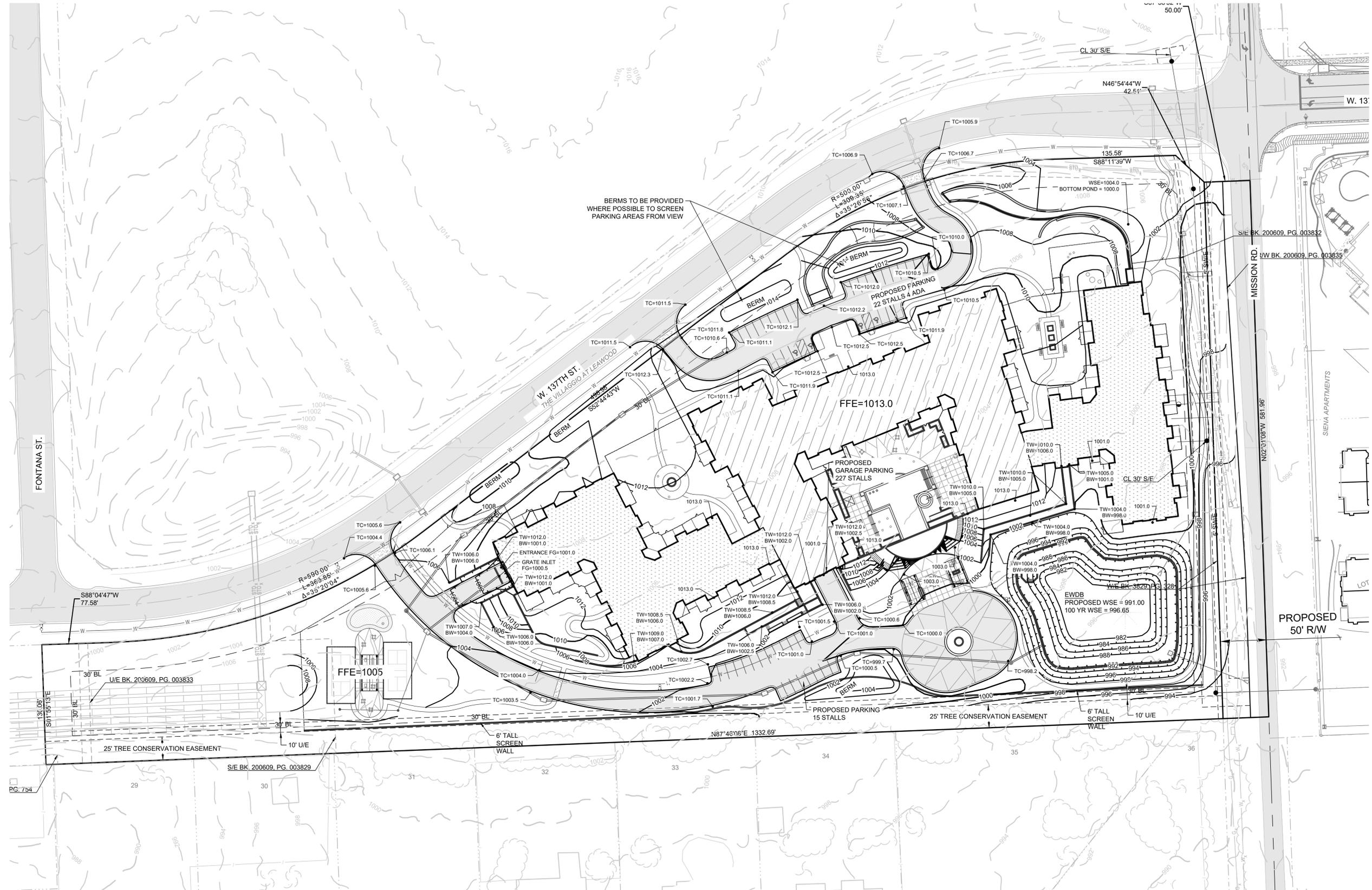
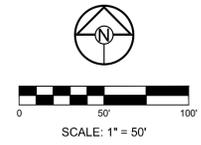
**MAJESTIC SENIORS LIVING
 PRELIMINARY DEVELOPMENT PLAN
 4001 WEST 137TH STREET
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
03/08/2019	CITY COMMENTS
03/27/2019	CITY COMMENTS
04/11/2019	PUBLIC MEETING
04/16/2019	CITY COMMENTS

DRAWN BY: RPM
 CHECKED BY: JFB
 DATE PREPARED: 02/19/2019
 PROJ. NUMBER: 18-005

NOTE:

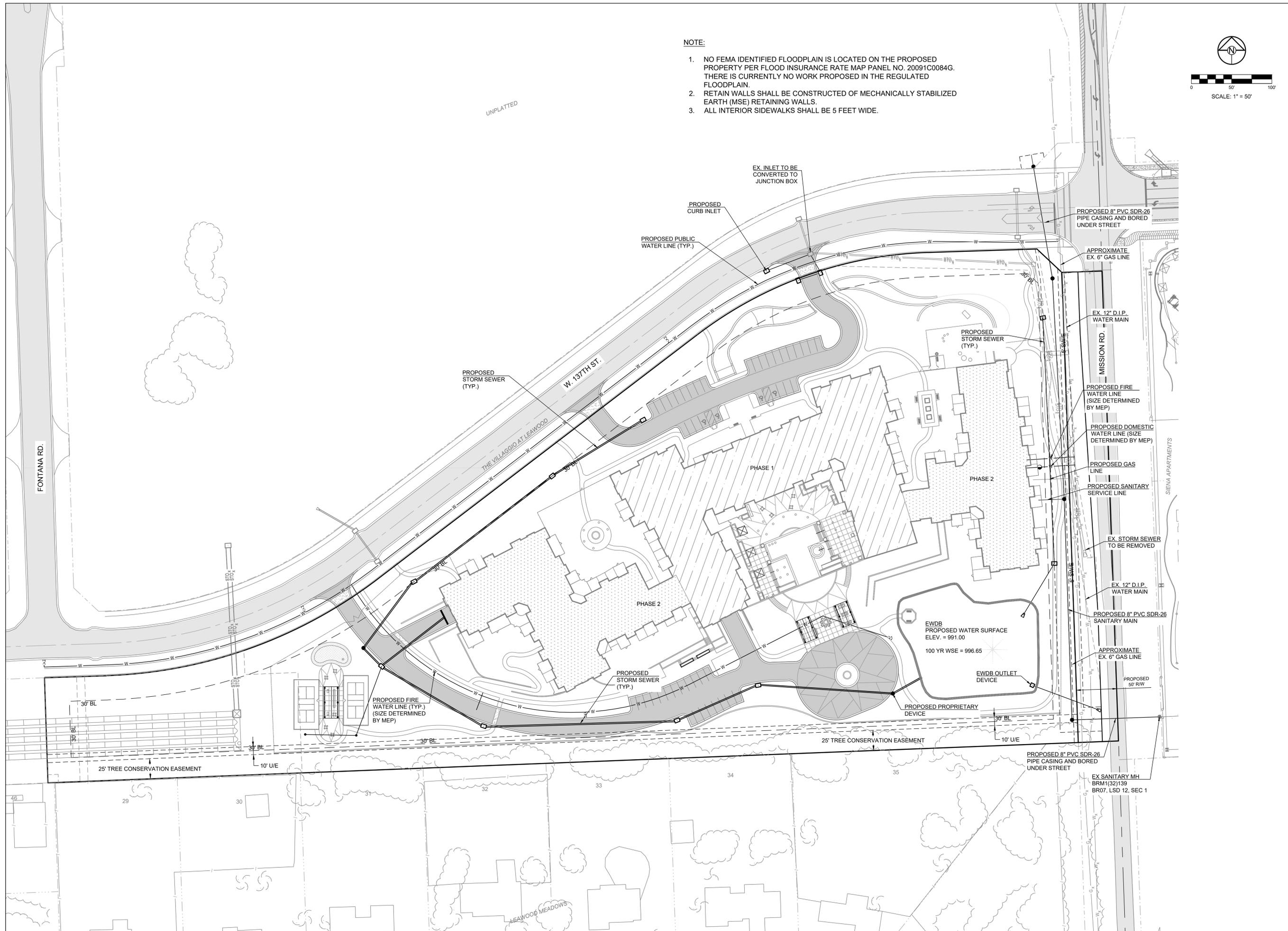
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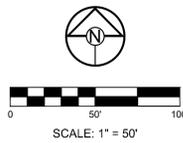
**MAJESTIC SENIOR LIVING
 PRELIMINARY DEVELOPMENT PLAN
 4001 WEST 137TH STREET
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
03/08/2019	CITY COMMENTS
03/27/2019	CITY COMMENTS
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02/19/2019	DATE PREPARED
19-005	PROJ. NUMBER

GRADING PLAN



- NOTE:**
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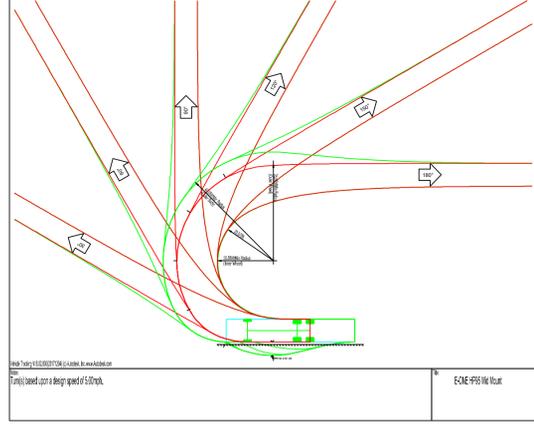
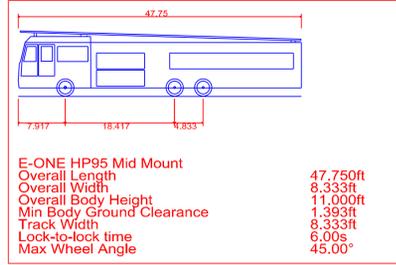


SCHLAGEL & ASSOCIATES, P.A.
 Engineers • Planners • Surveyors • Landscape Architects
 14920 West 107th Street • Lenexa, Kansas 66215
 (913) 492-5158 • Fax: (913) 492-8400
 WWW.SCHLAGELASSOCIATES.COM
 Kansas State Certificate of Authority
 #E-296 #L.A-29 #L.S-54

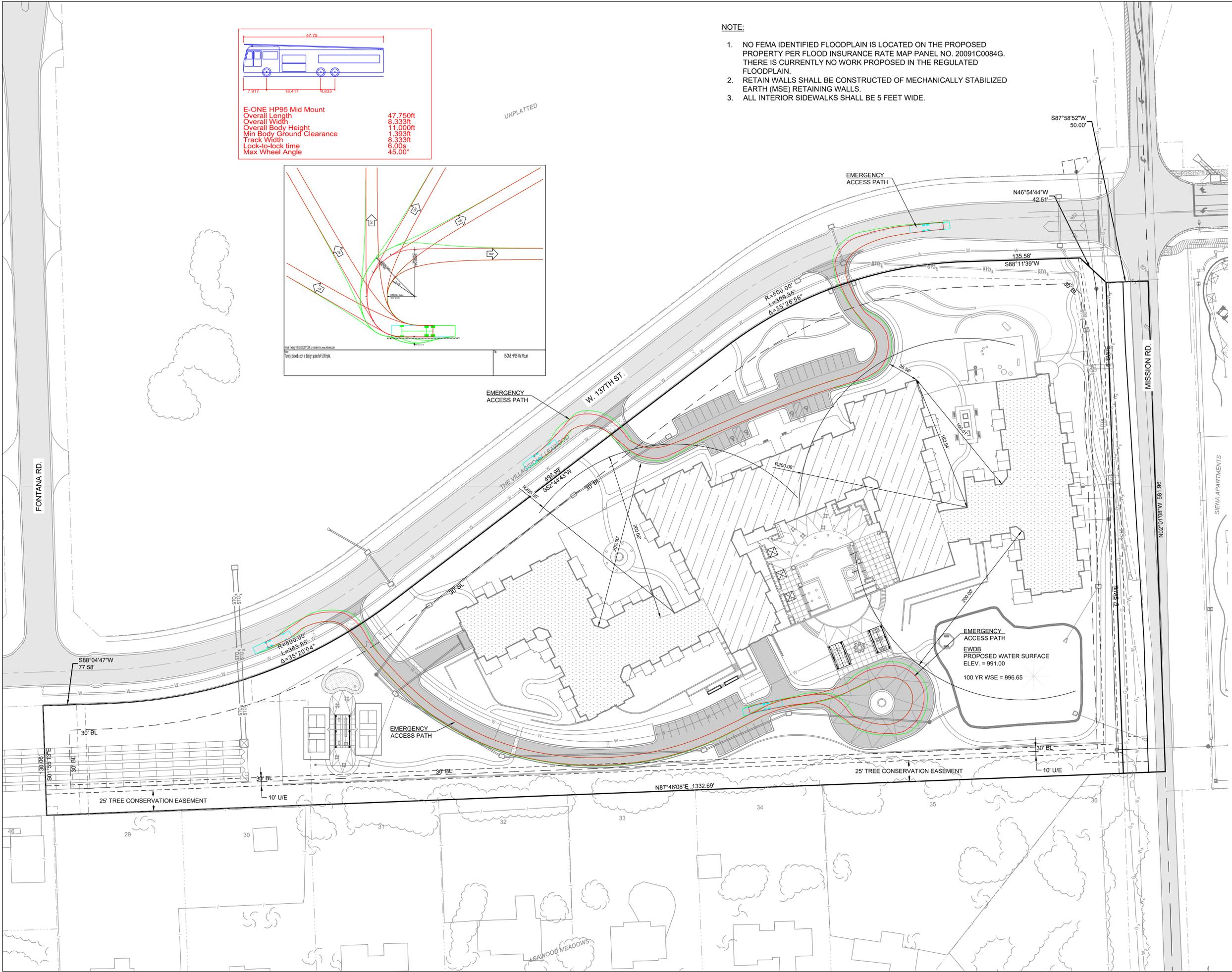
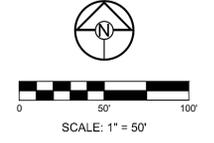
**MAJESTIC SENIOR LIVING
 PRELIMINARY DEVELOPMENT PLAN
 4001 WEST 137TH STREET
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
03/08/2019	CITY COMMENTS
03/27/2019	CITY COMMENTS
04/11/2019	PUBLIC MEETING
04/16/2019	CITY COMMENTS

**PRELIMINARY
 UTILITY PLAN**



- NOTE:**
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**MAJESTIC SENIOR LIVING
 PRELIMINARY DEVELOPMENT PLAN
 4001 WEST 137TH STREET
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
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04/16/2019	CITY COMMENTS
02/19/2019	DATE PREPARED
18-005	PROJ. NUMBER

EMERGENCY ACCESS PLAN

SHEET
8
 OF 8



MAJESTIC

SENIORITY LIVING

Dear Mark Klein (City of Leawood):

I am writing to request a special use permit to build an Independent Living project in Leawood at 137th and Mission Road.

Thank you for your assistance in this matter.

Sincerely,

Doug Hoffman

President, Majestic Seniority Living

Interact Meeting Minutes

March 14, 2019

Application Number: 24-19 – The Majestic of Leawood – Preliminary Plan, SUP

Location: Maple Room, 4800 Town Center Drive, Leawood, KS

Development Team in Attendance:

Doug Hoffman, Owner	Majestic of Leawood
Kathi Michaels, Manager	Majestic of Leawood
Tim Homburg, Principal Architect	NSPJ Architects
Audrey Knight, Designer	NSPJ Architects
Katie Martinovic, Landscape Architect	NSPJ Architects

Neighbors In Attendance: Please see attached list.

Items Discussed/Questions Addressed:

- Concerned about the set back from the property line on the south – a graphic was presented comparing the setbacks of the previously approved plan & the new proposed plan. Previously the Independent Living building was 46-47' from the property line. The proposed plan for the Majestic is 86.3'.
 - Neighbor met with the city about the set back from the previously approved site plan and were told it is 75'
- Please email the perspective/elevations/boards to attendees. As well as the photometric plan & entire submittal as sent to the city.
- A 2-story building was previously approved and concerns about the building height were raised.
 - The development team explained that the proposed building is mostly 2 story except for the 3 story portion in the center. With the difference in the pitch of the roof from the previous, it is about the same as the previously approved building height.
 - The building height is under the 40' requirement except for a few of the "tower" elements.
- Could the building be lowered to all 2 story?
 - If the height is lowered, the building will grow in foot print size to accommodate the same number of units which are needed for economic feasibility. As you go up in height, there is also an increase in the green space which helps with the site run off and is desired by the target demographic of 55+.
- On 137th Street how high is the top of the foundation compared to the grade at the street?
 - The building is below it/flat with the street.
- "berm" on 137th pushes water to the neighbors.
 - The civil engineer will meet with the neighbors to understand what grading issues you have and what will need to be done at the property line.
- Where are the 2 story vs the 3 story parts of the building?
 - The proposed building is mostly 2 story except for the 3 story portion in the center.

- What is the distance from the access lane to the property line?
 - 30'
- Will you damage the trees since the access drive is so close to them?
 - No grading is proposed in the existing tree line.
- What will you do in the "buffer zone" where the natural trees are?
 - We will work on a case by case basis with the neighbors adjacent to the property to determine what border or additional landscaping is needed to help with blocking
 - We can help assess the trees and come up with a long term plan to help buffer.
- Some neighbors liked the rustic/native vegetation in the existing tree line and want it kept natural. They don't want it manicured.
- Others expressed concern about too many wild animals like coyotes.
- Neighbors don't want to see lights or people on the decks.
- The underground mosquito farm (detention) is a problem that needs to be addressed.
 - We will treat the area for mosquitoes if it comes to that.
- Concerns about the ditch on Mission & runoff.
 - A comparison of the existing drainage pattern & the proposed were presented.
- Look at adding a berm on the south to keep lights away from the neighbors.
- Concerns about snowplows on the access drive adjacent to neighbors.
 - Underground heated elements to eliminate snow plows on the access drive are being considered.
- Concerns about all of the traffic for the garage being directed to the access road.
 - city will not allow another curb cut from Mission
 - Shuttle service will be provided which will help reduce the usage of the access road.
- Neighbors want a substantial berm by retention pond.
 - A berm on the south of the retention pond is required to make the pond function.
- Consider building a berm at the turn of the access road.
 - The challenge will be to keep the trees safe
- Will the detention pond be full/auto-filled in summer?
 - Yes, sometimes this is provided in detention ponds.
- How many parking spots per unit?
 - City code is 2 req. per unit, 2 will be offered per unit in the garage.
- Look at lowering the building elevation some what? Worried about residents/lights on the decks looking down on the neighborhoods. Use the newest lighting as possible.
 - Zero light bleed at the property line per city requirements.
 - Indirect lighting will be provided on the patios. Light levels are similar to other residences not commercial uses.
- Why can't you have an entrance on 137th street? Concerned about all the headlights along the access road
 - Traffic for this demographic is more dispersed throughout the day. Some don't even drive or have cars.
 - Food delivery service typically comes between meal times so there won't be trucks at night.
 - A discreet entrance for staff and the food delivery will be provided.
 - Guest parking is all in the front of the building.
- How will it take to build it?
 - 14-16 months
- What will the materials be?

- Tile roof, no siding, real brick, stone, & stucco.
- What does Independent Living mean?
 - cannot move in if under 55
- What are the unit sizes?
 - Lots of Focus groups on what this age range wants
 - The smallest is 1150 sq. 2 bedroom, and largest is 1,700, 3 bedroom
- What will the prices be?
 - \$600-750,000 for sale units (no entry/enrollment fees, no
 - \$3,400 monthly HOA fees that include \$1000 food credit, cleaning service, maintenance, & access to all the amenities which is unlike anything else in the town.
- What have you built around town or nationally?
 - NSPJ worked on Mission Chateau which is probably the closest luxury finishes & common spaces.
- What about when someone needs long term care?
 - An independent third party in home care operator may be considered as part of the facility.
- Who is the clientele?
 - Those that want to downsize & not maintain a large home but still have all the amenities, especially for grandkids.
- Who will own it? Where does the money go when people buy in?
 - Doug & HOA board will own all of the common spaces and building.
 - Individuals will own the interior units.
- 2 phases are planned based on sales of the units.
- Is the pickleball fenced? Is there lighting with it?
 - Yes. A with a time limit
- Work on entrance location to the parking garage and description of what the pickleball is
- Look at possibility to lower the building elevation.
- Review previous approved stipulations on the plan and see if you can agree to those.
- Provide more trees at the fire truck turnaround and possibly a berm.
- What is the timeline for the approval?
 - Hope to have a shovel in the ground: late august for site disturbance.
 - This is just the first step in the process of approval.

Name	Address	Phone	Email
Denise Franklin	4652 W. 137 th St	913-645-7770	DeniseFranklin@ReeceNichols.com
WILLIAM & JEANNINE PRADERIO	13700 FONTANA LN.	816 804-1511	
Mary Wilson	13716 Foulard	913-899-5247	
Lyle & Dolores Hultheos	13701 Granada Rd	913 681-0765	dholtheos@kc.rr.com
Paula Nutter Scott Hutton	4609 W 138 th ST	913-244-3651	Scottwhutton@gmail.com Paulakhutton@gmail.com
* M. Bell	4016 W 137 th St		mbell14217@gmail.com
* Jane Ross	4004 W. 137 th Terr.	913-710-3188	Jane_ross_Leawood@kc.rr.com
* Tony Ross	11 11	913-710-3192	tony-ross-Leawood@kc.rr.com
* Matt & Tracy Palmer	4008 W. 137 th Terr.	816-582-1065	tracy.palmer71@gmail.com mpalmer854@gmail.com
John & Alicia Morris	4648 W 137 th Terr	816-315-1189	JohnMorris794@gmail.com
CRAIG SMITH	13722 Alhambria	913-685-8736	CRSMITH921@kc.rr.com

* = back up to proposed devel.

2nd Interact Meeting Minutes

April 3, 2019

Application Number: 24-19 – The Majestic of Leawood – Preliminary Plan, SUP

Location: Maple Room, 4800 Town Center Drive, Leawood, KS

Development Team in Attendance:

Doug Hoffman, Owner	Majestic of Leawood
Kathi Michaels, Manager	Majestic of Leawood
Tim Homburg, Principal Architect	NSPJ Architects
Jason Toye, Senior Project Manager	NSPJ Architects
Audrey Knight, Designer	NSPJ Architects
Katie Martinovic, Landscape Architect	NSPJ Architects
John Becker, Civil Engineer	Schlagel & Associates

Neighbors in Attendance: Please see attached list.

Items Discussed/Questions Addressed:

- Updates presented to neighbors:
 - Showed updated graphic showing the previously approved plan is 73'-74' away from the property line.
 - Discussed that changes that have been made since the previous interact meeting
 - Building area was reduced approximately 13,000 sf
 - Reduced the number of units from 137 units to 130 units.
- Concerns
 - Concerns about site drainage and the ditch along Mission were again brought up
 - A comparison of the existing drainage pattern & the proposed were presented
 - Neighbor suggested adding sod and river rock to the ditch to help with the erosion of the ditch.
 - Will there be a “cheap” back side of the building?
 - No side of the building will be “cheaper” than the others. All sides will have the same quality of design and materials.
 - Concerned with the size and height of the buildings. The previously approved building was only 2 story
 - We have reduced the building area by 13,000 sf and removed 7 units.
 - We are within the city requirements for F.A.R.
 - We meet the city requirements for building heights
 - Do not want to see headlights along the access lane or coming out of the garage
 - We have added a 3' wall and 3' berming along the access lane to help
 - Does not like the look of berms; would rather have just a wall with trees planted next to them
 - The neighbor states they would be ok with a 5'-6' wall across from the entry door to block headlights

- Can you put the garage entrance on the northwest corner of the building?
 - The design team has investigated this change but are unable to move the entrance due to concerns with drainage. The building would also need to be raised several feet for it to possibly be feasible.
- Concerns about the amount of noise that will come from the pool/amenity deck
 - The management will have noise policies and procedures in HOA contract. All residents are governed by the same city noise ordinances as other neighbors.
- Can the pool be lowered? Or placed in a courtyard
 - It is located above the garage and cannot be lowered.
- How will the pickle ball court be lit? Will they be on 24/7?
 - There are 15' tall fixtures. They will be down lights and not bleed outside of the property. Will only light the court.
 - The sidewalks will be lit by bollards.
 - Amenities will be closed at a certain time of night
- Neighbors would like a fence/wall in before construction
- Where are the dumpsters located?
 - They are next to the garage door entry and screened by the building.
- Where is the kitchen/restaurants?
 - They are in the center of the "U" portion of the building. Bistro is on the first floor, kitchen/dining on the second floor, and the sports bar is on the third floor.
- Will you have to do any blasting of rock for construction?
 - No, there is no intention of blasting. The Geo-tech report did not find any stone.
- Where would the ambulances go?
 - They would come into the front drive since the only public entrance is along 137th
 - The fire department would use the access drive/turn around if required.
- Where are the fire hydrants located?
 - In front and back. They are placed per the fire code.
 - The building will be fully sprinklered
- What is the floor elevation of the entry?
 - It will follow the profile of 137th Street.
 - The building steps with the site
- What exactly is the dog park? What grass will be used?
 - Benches and shade structures, water to rinse off the dogs, trash & doggie bags
 - The design team is looking into what grass will work best in this location
 - Dogs will not be left unattended.
- HVAC and venting locations
 - Split systems will be located on the roof and screened by roof parapets
 - Kitchen will be vented through the roof. There will be no side vents
- Are there doctors on staff?
 - No, this is not an assisted living facility.
 - Any in home care will only be available through 3rd party licensed in home care provided and contracted directly by our residents. This is the same was what the neighbors would use if they needed it.
- Age restriction: it will likely be 55 and up.
- Construction time line- Phase I should take 14-16 months and another 14-16 months for Phase II
 - Neighbors would like to see it all done in one phase

- What kind of interest has there been in the property?
 - The development team has done small lunch and learns and have gotten positive responses.

Date: 04/02/2019

2nd Interact Meeting

Case 24-19: The Majestic of Leawood
 Preliminary Plat, Preliminary Plan & Special Use Permit for an Independent Living Facility
 Maple Room @ Leawood Community Center
 4800 Town Center Dr., Leawood, KS

Meeting Attendee List

Name	Address	Phone	Email
Mary Watson	13716 Fontana Leawood KS 66224	913- 897-5247	
M. Bell	4016 W. 137 th St		MBell4217@gmail.com
Jane+Tony Ross	4004 W. 137 th Terr Leawood KS		Jane-ross-leawood@kc.rr.com tony-ross-leawood@kc.rr.com
S. SHARP	13101 Mission		
K. Ludwig	4505 W. 138 th St	913-271-1984	Kevinpludwig@gmail.com
A Hooper	13715 ALHAMBRA	913 530 7063	hooperk@ yahoo.com

Tony & Jane Ross
4004 W. 137th Terrace
Leawood, KS 66224
913-710-3192 (cell)

April 7, 2019

✓ Leawood Planning Staff
Leawood Planning Commission
4800 Town Center Drive
Leawood, KS 66211

RE: PLEASE MAKE THIS PART OF THE PUBLIC RECORD RELATIVE TO PROPOSED PLAN: The Majestic

Ladies and Gentlemen

We live in the Leawood Meadows sub-division which backs up to the proposed plan at 137th Street and Mission Road in Leawood.

We attended both interact meetings that were held with the architect, owner and staff of the development.

We have reviewed that plans and find much of it objectionable including:

- The overall footprint of the proposed development is too large for the land causing the developer to propose 4-stories.
- Although this plan has been represented as 3-story at its' tallest point, it is actually 4-stories from the South side vantage point. The previous plan submitted by another developer was limited to 2-stories which was much more acceptable.
- In order to drive in/out of the underground parking garage, the proposed plan routes the vehicles directly past the backyards of several neighbors to the south. If each car enters and exits the garage one time per day 520 cars per day will drive past our yards and the heavy steel garage door will go up and down 520 times – potentially at any hour of the day.
- The swimming pool/party deck is on a second floor which will direct the sound and line of sight at our backyard.
- When the water in the retention pond must be let out it will be dumped into the existing swale along Mission Road which is already badly eroded. The developer should be held to help with an interim solution prior to the widening of Mission Road.

The owner, landscape architect and civil engineer visited our home and walked along the border of the proposed development and our backyard. There seemed to be some potential willingness to work with us on several items:

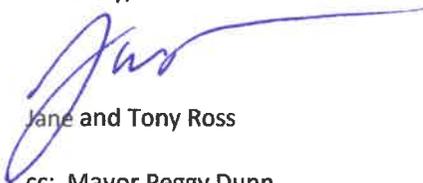
- They were going to visit the possibility of moving the parking garage entrance to the west side of the development and limit the existing driveway next to our neighborhood to employee parking and the emergency vehicle turn-around.
- They seemed amiable to putting a wall or fence ALL ALONG the property to create a buffer from the lower elevations and activities of the development.
- They said they would plant some fast-growing tall trees in the existing tree line to the south of the development to help block the taller levels of the buildings.
-

While we appreciate these *potential* modifications, as of the writing of this letter we have received no confirmation of any of this.

Note that we are not requesting that this development be entirely rejected. We only ask that the Planning Staff and Planning Commission take these points into consideration before approving this plan and request that the developer mitigate some of these concerns in order to be good neighbors.

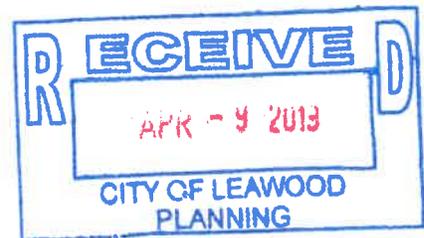
Thank-you in advance for your kind attention to this matter.

Sincerely,

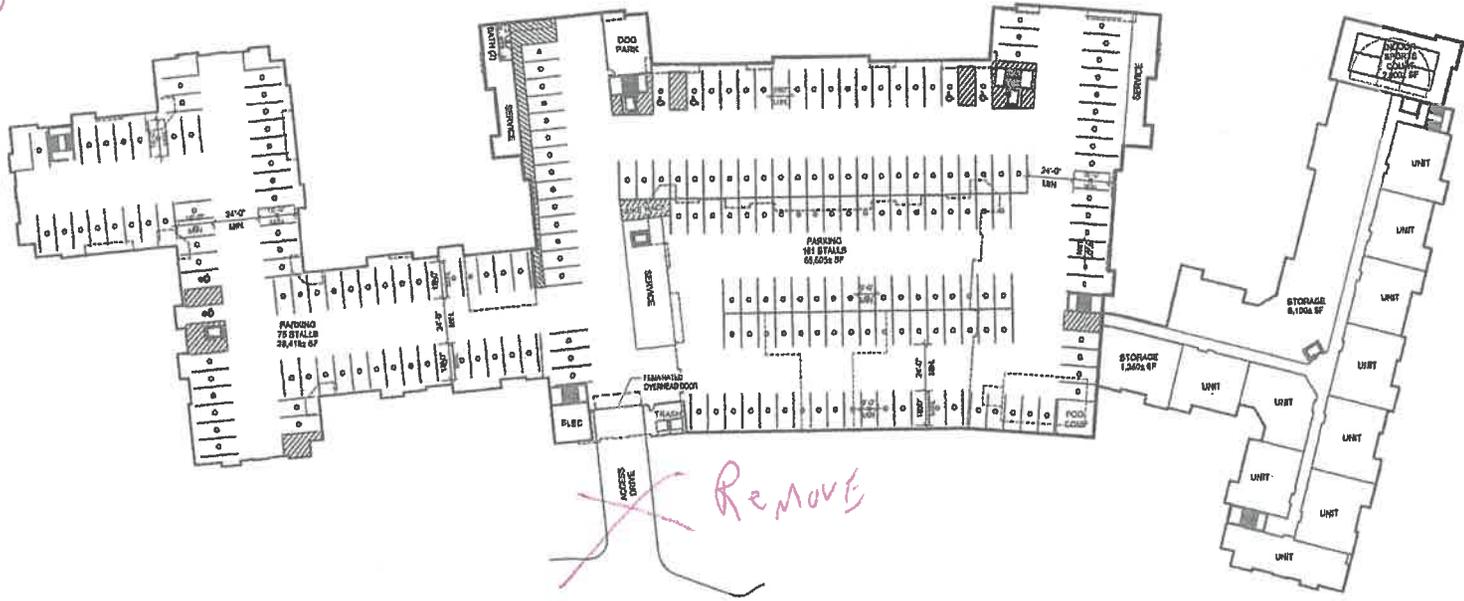


Jane and Tony Ross

cc: Mayor Peggy Dunn
Julie Cain, Ward 4 City Council



New Garage Door



UNDERGROUND PARKING AND BASEMENT PLAN
 1" = 30'

UNIT INFORMATION	
Unit Name	Unit Area (S.F.)
A1	1,113 S.F.
A2	1,208 S.F.
A3	1,166 S.F.
B1	1,287 S.F.
B2	1,282 S.F.
C1	1,348 S.F.
D1	1,451 S.F.
D2	1,261 S.F.
E1	1,532 S.F.
E2	1,590 S.F.
E3	1,542 S.F.
E4	1,663 S.F.

TORNADO SHELTER INFORMATION	
Total Units	152
Desired Occupancy	100
Area req'd per occ. (6 S.F.)	600
# of 10 sq ft HOA Area Req'd (1/200 occ.)	10.0
PROVIDED S.F.	1,079 S.F.
PROVIDED S.F.	43,281 S.F.

NSPJ ARCHITECTS, INC.
 3515 W. 25TH ST., SUITE 201
 PRAIRIE VILLAGE, KS 66208
 P. 913.831.1415
 F. 913.831.1563
 NSPJARCH.COM



A NEW SENIOR LIVING COMMUNITY FOR:
THE MAJESTIC
 137TH & MISSION ROAD
 LEAWOOD, KANSAS

DRAWING RELEASE LOG
 #07-0000-000-00000

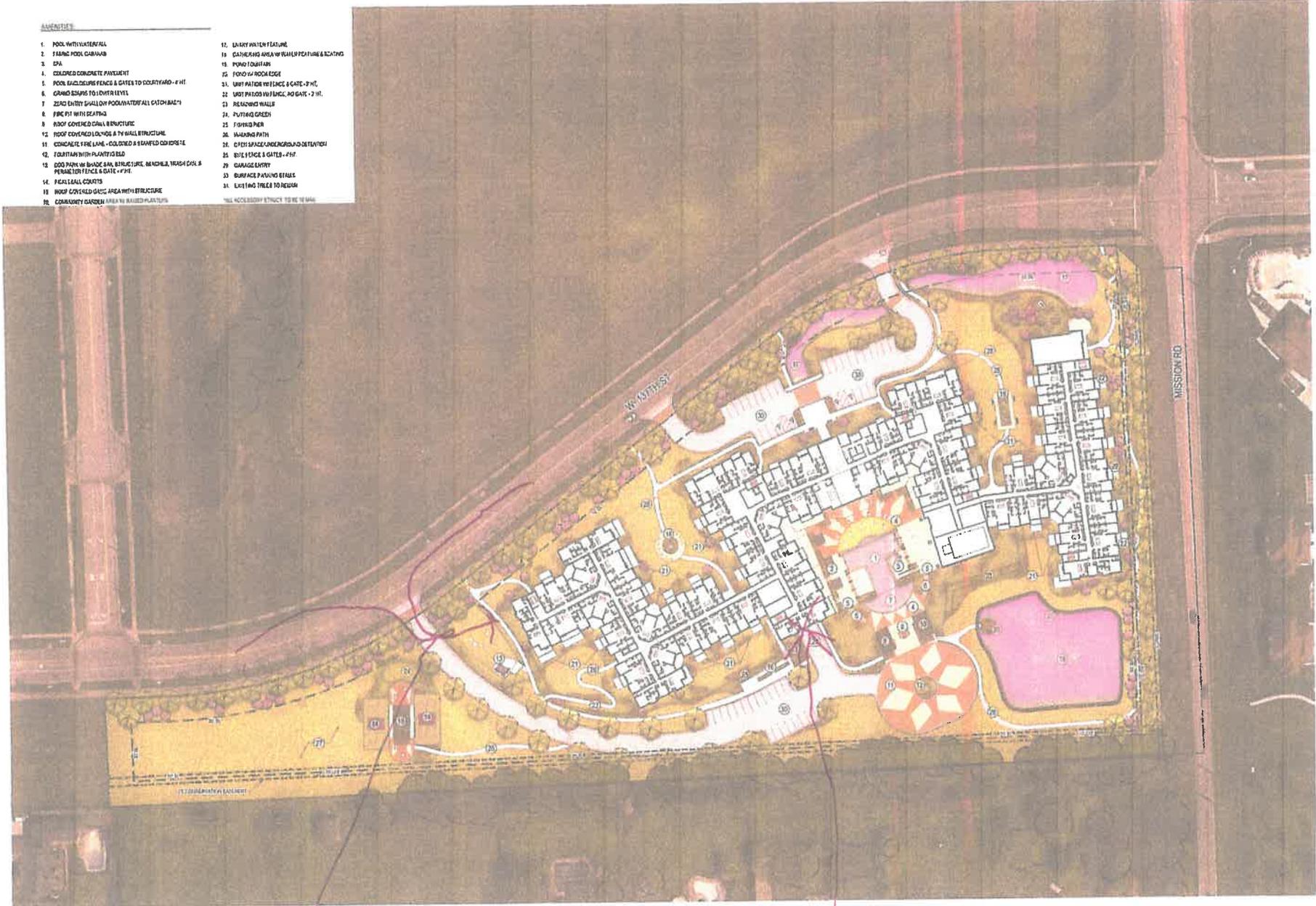
REVISIONS

DATE: 02/18/2010
 JOB NO: 004717
 DRAWN BY: TWH / JAT
 SHEET NO.

PRELIMINARY DEVELOPMENT PLAN **A2.00**

ADVENTURES

- | | |
|---|--|
| 1. POOL WITH WATERFALL | 17. ENTRY WATER FEATURE |
| 2. FRAMED POOL CABANA | 18. GAMING AREA W/ RAILER FOR FURN & SEATING |
| 3. SPA | 19. POND TOUCHING |
| 4. COLORED CONCRETE PAVEMENT | 20. FOOD W/ ROOM EDGE |
| 5. POOL ENCLOSURE FENCE & GATES TO COURTYARD - 8 FT | 21. UNIT PATIO W/ FENCE & GATE - 3 FT |
| 6. CANO RAMP TO 1 DIVER LEVEL | 22. UNIT PATIO W/ FENCE, NO GATE - 2 FT |
| 7. ZERO ENTRY SHALLOW POOL/WATERFALL CATCH BASIN | 23. REMAINING WALLS |
| 8. FIRE PIT WITH SEATING | 24. PLANTING GREEN |
| 9. ROOF COVERED CHILL STRUCTURE | 25. COVERED PATH |
| 10. ROOF COVERED LOUNGE & TV WALL STRUCTURE | 26. WALKING PATH |
| 11. CONCRETE FIRE LANE - COLORED & STAMPED CONCRETE | 27. CYTES SPACE/UNDERGROUND DETENTION |
| 12. COURTYARD WITH PLANTING BED | 28. BICYCLE & GATES - 4 FT |
| 13. GOLF PARK W/ SHADE BAR, BENCHES, BENCHES, TRASH CHUTE & PERIMETER FENCE & GATE - 4 FT | 29. GARAGE ENTRY |
| 14. PEDESTAL COURTYARD | 30. SURFACE PAVING DETAILS |
| 15. ROOF COVERED SPACE AREA WITH STRUCTURE | 31. EXISTING TREES TO REMAIN |
| 16. COMMUNITY GARDEN AREA W/ RAISED PLANTERS | 32. ACCESSORY ENTRY TO BE REMAIN |



New Better Door

Remove Door

NSPJ
 ARCHITECTS
 3515 W. 75TH ST., SUITE 201
 PRAIRIE VILLAGE, KS 66208
 P. 913.831.1415
 F. 913.831.1563
 NSPJARCH.COM



A NEW SENIOR LIVING COMMUNITY FOR
THE MAJESTIC
 137TH & MISSION ROAD
 LEAWOOD, KANSAS

DRINKING WATER ONLY
 642 10377-10378-10379
 642 10380-10381-10382

Revisions
 DATE: 02/11/2019
 JOB NO: 604717
 DRAWN BY: TREN J JAY
 SHEET NO. SP1.00

SITE PLAN
 1"=50'-0"
 PRELIMINARY DEVELOPMENT PLAN **SP1.00**

City of Leawood Planning Commission Staff Report

MEETING DATE: April 23, 2019

REPORT WRITTEN: April 18, 2019

CAMDEN WOODS CENTER – REVISED SIGN CRITERIA – REQUEST FOR APPROVAL OF A REVISED FINAL SIGN PLAN – Located south of 143rd Street west of Kenneth Road – Case 30-19

STAFF RECOMMENDATION:

Staff recommends approval of Case 30-19, Camden Woods – request for approval of a Revised Final Sign Plan, with the stipulations stated in the staff report.

APPLICANT:

- The applicant is Brad Cottam with DC Group 1 LLC.
- The property is owned by DC Group 1 LLC.

REQUEST:

- The applicant is requesting approval of a Revised Final Sign Plan for revised sign criteria for Camden Woods Center to provide a distinguished identity for the office and retail center, allow for tenant creativity, and define appropriate locations for the placement of signage.

ZONING:

- The property is currently zoned SD-NCR (Planned Neighborhood Retail).

COMPREHENSIVE PLAN:

- The Comprehensive Plan designates this property as Retail.

LOCATION:



SURROUNDING ZONING:

- North Directly north of Camden Woods Center is 143rd Street, and undeveloped property zoned SD-NCR and SD-CR (Planned General Retail).
- South South of Camden Woods is the Camden Woods subdivision, a single-family residential subdivision zoned RP-4 (Previous Leawood Development Ordinance).
- East East of Camden Woods Center is Kenneth Road and the Bi-State Business Park, zoned BP (Planned Business Park).
- West West of Camden Woods Center is the Camden Woods subdivision, a single-family residential subdivision zoned RP-4 (Previous Leawood Development Ordinance).

SIGNAGE:

- The current sign criteria for Camden Woods Center limits signage to 12" halo illuminated metal letters.
- The applicant is proposing the following changes:
 - Change the sign criteria to require internally illuminated letters and to allow for logos for all new signage.
 - The applicant is proposing a maximum average letter height on the first floor of 18" in height, and an average letter height on the tower element to be 24". However, in no case may the height of the tallest letter be greater than 2 times the height of the shortest letter.
 - The tower element may have one sign per façade, with a maximum of 2 signs total for upstairs tenants. Signage located on the tower elements is limited to an average letter height of 24" with no letter exceeding 30".
 - Second floor tenants may have a blade sign adjacent to their first floor entrance, in addition to one sign on the tower element. The blade sign shall be a maximum of 6 sq.ft. and must be non-illuminated.
 - There will be maximum of one sign per tenant façade.
 - Signs facing areas zoned or master planned for residential shall be turned off between the hours of 9:00 p.m. and 7:00 a.m.
 - Wall signs must be individual letters mounted flush to the façade of the building. Raceways and backer panels are not permitted.
 - All signage must comfortably fit within the sign area and may not exceed 85% of the width of the sign area, or 90% of the height of the sign area.
 - Signage will not be permitted to encroach or be placed over any architectural elements of the building including timbering.
 - Logos and design elements will be allowed to be a maximum of 25% larger than the average letter permitted.
- One monument sign is permitted for the development, the size and location of which shall meet the requirements of the Leawood Development Ordinance.
- No signage is permitted on the west and south elevations of the building.

STAFF RECOMMENDATION:

Staff recommends the Planning Commission approve Case 30-19, Camden Woods – request for approval of a Revised Final Sign Plan, with the following stipulations:

1. This application is limited to a Revised Final Plan to modify the sign criteria for the Camden Woods development.
2. A sign permit from the Community Development Department shall be obtained prior to installation of any sign.
3. The developer/property owner agrees to execute a statement acknowledging in writing that they agree to stipulations one through three.

CAMDEN WOODS
14300 Kenneth Rd.
Leawood, KS.

TENANT SIGN CRITERIA

SIGNAGE GOALS

The goal of the Tenant signage is to distinguish the Tenant's identity and to be integral with the overall storefront design. The Tenant Design Criteria Guidelines for signs is intended to encourage creativity, individual store expression and visual interest.

GENERAL REQUIREMENTS

- All exterior tenant signage shall be a maximum of 5% of the tenant façade, which shall be measured lease line to lease line, and from grade at the front door to the eve of the roof.
- All wall signs shall be individual letters mounted flush to the façade of the building.
- Raceways and backer panels are prohibited.
- Wall signs for the first floor and the second story northeast tower element must be internally-illuminated. Externally illuminated signs and halo illuminated signs are prohibited.
- All illuminated signs facing areas zoned or master planned as residential, shall be turned off between the hours of 9:00 p.m. and 7:00 a.m.
- Logos may be permitted with development and City approval. However, logos/design elements may be a maximum of 25% taller than the largest letter permitted.
- Tag lines are prohibited unless part of the legal name of the business as signed on the lease.
- All signage shall comfortably fit within the sign area, and shall be a maximum of 85% of the height of the sign area and a maximum of 90% of the length of the sign area.
- Average letter height shall be calculated by taking the average of all letters within the sign, excluding logos/design element. In no case may the height of the tallest letter be greater than twice the height of the shortest letter in the sign.
- Signage shall not be permitted to encroach or be placed over the architectural elements, including timbering.
- Signage shall not be permitted on the south and west elevations of the building.
- The color of the lens and the returns on the letters can be determined by the Tenant.

SIGNAGE LOCATIONS

The Tenant signage is defined by the location of the leased space within the complex.

First Floor Tenants:

- A first floor single tenant space requires that the horizontal sign space above the front windows/doors to be the tenant sign area.
- If the tenant has a corner site then they are allowed to have one primary wall sign per façade with a maximum of two primary signs total.

- The average letter height of the sign shall be an average of 18” in height, however, no letter shall exceed 24” in height.

Second Floor Tenants:

- Second floor tenants may be permitted one blade sign on the first floor placed adjacent to the Tenant entrance such that the bottom of the blade sign is a minimum of 9’ above grade. Blade signs are limited to an oval shape and a maximum of 6 sq.ft. in size, as measured by drawing a rectangle around the outer limits of the sign. Blade signs must have the Landlord’s and City of Leawood’s approval and shall be non-illuminated.
- A second sign may be placed within the sign area located above the windows on the northeast tower element of the building. A maximum of one sign per façade on the tower element shall be permitted, with no more than two signs total on the tower element.
- The average letter height of the signs on the tower element shall be an average 24” in height, however, no letter shall exceed 30” in height.

Monument Signs:

- One monument sign shall be permitted for the development and shall be placed a minimum of 5’ from all property lines and sidewalks and outside of all site triangles.
- The monument sign shall meet the following requirements.
 - a. The monument sign shall be either halo-illuminated, non-illuminated, externally illuminated. Internally illuminated letters/characters/logos are not permitted.
 - b. The maximum area of the monument sign is limited to 50 sq.ft.
 - c. Dimensions- 6’ maximum in height (inclusive of base), 10’ maximum in length, 24” maximum in width.
 - d. Graphics/Text-signs may include the name or graphic identification of the project or development. Such graphic or text shall not exceed 18” in height.
 - e. Base-brick masonry, stone, or other solid base that is coordinated with the primary finish material used in the project building elevation. The base of the sign shall be a minimum of 12” in height.

SUBMITTAL REQUIREMENTS:

Any Tenant signage must first be approved by the landlord before applying for the City of Leawood Sign Permit Application process, which must be approved prior to ordering the sign.

Tenant’s sign contractor shall carry workman’s compensation and public liability insurance against all damage suffered or done by any and all persons and/or property while engaged in the erection of signs in the amount of \$1,000,000 per occurrence.

City of Leawood Planning Commission Staff Report

MEETING DATE: April 23, 2019

REPORT WRITTEN: April 17, 2019

PARKWAY PLAZA – ADVANCED COSMETIC SURGERY MULTI-TENANT BUILDING – REQUEST FOR APPROVAL OF A FINAL PLAN – Located south of 134th Street and west of Roe Avenue – Case 31-19

STAFF RECOMMENDATION:

Staff recommends the Planning Commission approve Case 31-19, Parkway Plaza – Advanced Cosmetic Surgery Retail Building – Request for approval of a Final Plan, subject to the stipulations in the staff report.

APPLICANT:

- The applicant and architect is Jeff DeGasperi with DeGasperi & Associates.
- The property is owned by Dr. Levi Young.
- The engineer is Jeff Skidmore with Schlagel & Associates.

REQUEST:

- The applicant is requesting approval of a Final Plan for a 9,600 sq.ft., single story retail building with three tenant spaces. Advanced Cosmetic Surgery is the proposed tenant for the western-most tenant space, occupying 3,600 sq.ft.
- Advanced Cosmetic Surgery is a medical office only, not providing surgical procedures that require overnight stay. The primary services offered are pre-surgery consulting and post-operative follow-up.

ZONING:

- The property is currently zoned as Mixed Use (MXD).

COMPREHENSIVE PLAN:

- The Comprehensive Plan designates this property as Mixed Use.

LOCATION:



SURROUNDING ZONING:

- North To the north of the property is an undeveloped lot within Parkway Plaza that is master planned for condominiums. Beyond 133rd Street is Bridgewood, a single-family residential subdivision, zoned RP-1 (Planned Single Family Residential District).
- South To the south of the property are additional retail and office buildings within Parkway Plaza, zoned MXD (Mixed Use District).
- East To the east of the property is Roe Avenue, beyond which is undeveloped property, zoned SD-O (Planned Office) and SD-CR (Planned General Retail).
- West To the west of the property are additional retail and office buildings within Parkway Plaza, zoned MXD (Mixed Use District).

SITE PLAN:

- The project is located on the 1.32 acre undeveloped lot positioned at the southwest corner of 134th Street and Roe Avenue, within the Parkway Plaza development.
- The applicant proposes the construction of a new 9,600 square foot, one-story multi-tenant retail and office building.
- A Preliminary Plan for Parkway Plaza was approved on December 5, 2005 with case 69-05 (Ordinance 2146). The Preliminary Plan proposed a 9,600 sq.ft. retail building on the currently proposed lot at the northeast corner of the development. The orientation and size of the proposed building is in keeping the approved Preliminary Plan.
- An existing parking lot is located south of the proposed building. The applicant does not propose any changes to the parking lot, existing parking lot lighting, or traffic circulation.
- The parking lot will be accessed from the north by a private drive off 134th Street west of the proposed building, and from interior drive aisles from the west and south.
- An existing amenity area exists at the corner of 134th Street and Roe Avenue, east of the proposed building.
- Sidewalks are proposed along the perimeter of the site adjacent to 134th Street to the north, and the private drive to the west. Three sidewalk connections are proposed from the parking lot to the building entrances on the south elevation of the building.
- A trash enclosure is proposed to be attached to the northeast corner building. The trash enclosure will be accessed from a 10' concrete driveway from 134th Street.
- Bike racks are proposed at the southeastern corner of the building.
- The applicant proposes to remove 3 existing parallel parking spaces along the south side of 134th Street (private drive) on the back side of the building to provide additional open space.

PARKING:

- The ordinance requires 3.0 to 3.5 parking spaces per 1,000 square feet of floor area. The required parking range is 29 spaces minimum to 34 spaces maximum. A total of 35 spaces are proposed, 33 spaces in the existing parking lot in front of the building, and two on-street parking spaces along 134th Street. All on-street spaces are located on the property of the proposed building.
- A cross-access parking agreement was established per Parkway Plaza Business Declarations.
- Three parallel parking spaces along 134th Street were removed with this application to accommodate additional green space. The overall parking requirements for Parkway Plaza are in compliance with the Leawood Development Ordinance.

BULK REGULATIONS:

- The following table outlines the required and provided regulations for overall Parkway Plaza:

Bulk Regulations			
Criteria	Required	Provided	Compliance
Front Yard Setback	40'	40'	Complies
Rear Yard Setback	40'	40'	Complies
Side Yard Setback	40'	40'	Complies
Exterior Parking Setback	25'	25'	Complies
Interior Parking Setback	10'	0'	Deviation Granted*
Interior Property Line Setback	10'	10'	Complies
Building Setback from Residential	75'	160'	Complies
Minimum Acres	10 acres	60 acres	Complies
Open Space	30% (min.)	West – 50% East – 30%	Complies
Use Percentages	Office – 20% Retail – 10% Residential – 20%	Office – 27.7% Retail – 22.7% Residential – 49.6%	Complies
F.A.R.	0.25 (max.)	0.24	Complies
Maximum Residential Density	15 DU/Acre	1.9 DU/Acre	Complies
Height Limit	90'	56'	Complies

*Deviation granted with the Preliminary Plan for the overall Parkway Plaza development, on December 5, 2005 (Case 69-05, Ordinance 2146)

- The following table outlines the required and provided regulations for the Advance Cosmetic Surgery multi-tenant building:

Bulk Regulations			
Criteria	Required	Provided	Compliance
Front Yard Setback (Interior Property Line)	10'	18'	Complies
Rear Yard Setback	40'	44'	Complies
Side Yard Setback	40'	61.65'	Complies
Interior Parking Setback	10'	0'	Deviation Requested
Interior Property Line Setback	10'	10.7'	Complies
Building Setback from Residential	75'	580'	Complies
Open Space	30% (min.)	30.08%	Complies
Interior Open Space	8%	12.56%	Complies
F.A.R.	0.25 (max.)	0.17	Complies
Height Limit	90'	42'-6"	Complies

ELEVATIONS:

- The multi-tenant building will be 27' tall at the roofline, with a tower element at the southwest corner of the building extending to 42'-6" tall.
- The south elevation serves as the main entrance of the multi-tenant building, with glass storefront entrances covered by a walkway spanning the entire elevation.
- The multi-tenant building will consist of a mixture of tan stucco, natural stone and a concrete tile roof. A tower element located on the western end of the building will have a bronze standing seam metal roof to match the existing structures within Parkway Plaza.
- A stucco signage area is located above the stone columns on the southern elevation.

- The eastern and western elevations will not have any storefront entrances. Both of these elevations have projections of the building with a pitched roof element. The façade of these projections are covered with natural stone to match the tower element and stone columns on the building.
- The north elevation, back of the building, has three projections with pitched roofs. The façade of these projections are covered with natural stone to match the tower element and the other building projections. This northern elevation has three emergency egress doorways with sidewalk access to a paved area that also provides access to the trash enclosure at the northeast corner of the building.

TRAFFIC:

- A traffic study was prepared with the Preliminary Plan for the overall Parkway Plaza development. A traffic study is not a requirement of this Final Plan application.

SIGNAGE:

- No signage is proposed with this application.
- Parkway Plaza has sign criteria recommended by the Planning Commission and approved by the Governing Body. Signage is reviewed administratively through a separate application.

LANDSCAPING:

- The site is landscaped with a combination of shade and ornamental trees and shrubs.
- Green Pillar Oak trees and Columnar Zelkova trees will be planted along 134th Street, an interior private drive.
- An existing amenity area is located on the eastern end of the site. The amenity area is currently landscaped per the originally approved plan, with a total of 14 trees planted on the circumference of the circular sidewalk feature. Six of these trees are located on the proposed site and will remain as existing.
- The parking lot landscaping is existing, with 6 trees located in landscape islands planted with grass. The site provides the required number of parking lot trees, at a rate of 1 tree per 10 parking spaces.
- Two small bio-retention areas are located on the north side of the building, along 134th Street. The bio-retention areas are planted with a combination of native grass species. Shrubs accented with ornamental trees are also planted along the north elevation between and on either end of the two bio-retention areas.
- A variety of shrubs and ornamental trees are planted along the east and west sides of the building.
- The south side of the building has a variety of shrubs and grasses planted along the sidewalks providing access to the building, along with two Columnar Zelkova trees.

LIGHTING:

- The applicant has submitted a photometric plan meeting the Leawood Development Ordinance (LDO) requirements of no more than 0.5 footcandles at the property line and an average illumination of pedestrian walkways of 0.18 footcandles.
- The average uniformity ratio of the parking lot for Parkway Plaza was approved prior to the current LDO requirements. As such, the uniformity ratio for the existing parking lot south of the proposed building does not meet the current average uniformity ratio of 4 to 1 footcandles and is a legal non-conforming condition.
- The applicant proposes decorative lantern style light fixture to be located on the front (south-facing) columns of the tower element on the western end of the building.
- Recessed soffit lighting will be located under the covered walkway.

IMPACT FEES:

- **PUBLIC ART IMPACT FEE:** The applicant/owner shall be responsible for a Public Art Impact Fee or a piece of public art. Approval of the design and location of the art will need to go before the Arts Council, Planning Commission, and approved by the Governing Body at a later date. In lieu of that, the applicant shall pay a public art impact fee in the amount of \$0.15/square foot of finished floor area prior to issuance building permit. This amount is currently estimated at \$1,440.00 (9,600 sq.ft. x \$0.15). This amount is subject to change by ordinance.
- **PARK IMPACT FEE:** The applicant shall pay a Park Impact Fee in the amount of \$0.15/per square foot of finished floor area prior to issuance of a building permit. This amount is currently estimated at \$1,440.00 (9,600 sq.ft. x \$0.15). This amount is subject to change by Ordinance.
- **135TH STREET CORRIDOR IMPACT FEE:** A 135th Street Corridor Impact Fee in the amount of \$1.95 for retail prior to issuance of a Building Permit, estimated currently at \$18,720 (9,600 sq.ft x \$1.95). This amount is subject to change by Ordinance.

STAFF RECOMMENDATION:

Staff recommends the Planning Commission approve Case 31-19, Parkway Plaza – Advanced Cosmetic Surgery Retail Building – Request for approval of a Final Plan, with the following stipulations:

1. This approval is limited to 9,600 square feet of floor area on 1.32 acres for an F.A.R. of 0.17 and with an overall FAR of 0.24 for the overall Parkway Plaza Development.
2. The applicant/owner shall be responsible for the following impact fees:
 - a) The applicant/owner is responsible for a Public Art Impact Fee or a piece of public art prior to issuance of a building permit. Approval of the design and location of the art will need to go before the Arts Council, Planning Commission, and approved by the Governing Body at a later date. In lieu of that, the applicant shall pay a public art impact fee prior to issuance of a building permit in the amount of \$0.15/square foot of finished floor area prior to issuance building permit. This amount is currently estimated at \$1,440.00 (9,600 sq.ft. x \$0.15). This amount is subject to change by ordinance.
 - b) The applicant shall pay a Park Impact Fee in the amount of \$0.15/per square foot of finished floor area prior to issuance of a building permit. This amount is currently estimated at \$1,440.00 (9,600 sq.ft. x \$0.15). This amount is subject to change by Ordinance.
 - c) A 135th Street Corridor Impact Fee in the amount of \$1.95 for retail prior to issuance of a Building Permit, estimated currently at \$18,720.00 (9,600 sq.ft. x \$1.95). This amount is subject to change by Ordinance.
3. All power lines, utility lines, etc. (existing and proposed, including utilities and power lines adjacent to and within abutting right-of-way) shall be placed underground prior to final occupancy of the proposed building.
4. All utility boxes, not otherwise approved with the final development plan, with a height of less than 55 inches, a footprint of 15 sq.ft. in area or less, or a pad footprint of 15 sq.ft. in area or less, shall be installed only with the prior approval of the Director of Community Development as being in compliance with the Leawood Development Ordinance.
5. All utility boxes, not otherwise approved with the final development plan, with a height of 55 inches or greater, a footprint greater than 15 sq.ft. in area, or a pad footprint greater than 15 sq.ft. in area, shall be installed only with the prior recommendation of the Planning Commission as being in compliance with the Leawood Development Ordinance based on review of a site plan containing such final development plan information as may be required by the City, and approved by the Governing Body. The City may

impose conditions on approval, including but not limited to duration or renewal requirements, where the circumstances are sufficiently unusual to warrant the conditions.

6. The applicant shall obtain all approvals and permits from the Public Works Department, per the public works memo (Exhibit A) on file with the City of Leawood Planning and Development Department, prior to issuance of a certificate of occupancy.
7. The applicant must obtain all approvals from the City of Leawood Fire Department, per the Fire Marshal's memo (Exhibit B) on file with the City of Leawood Planning and Development Department, prior to issuance of a building permit.
8. The Owner/Applicant must establish a funding mechanism to maintain, repair and/or replace all privately owned common areas and common area improvements including, but not limited to, private streets, walls, and private storm water system improvements. The mechanism shall include a deed restriction running with each lot in the development that will mandate that each owner must contribute to the funding for such maintenance, repair and/or replacement and that each lot owner is jointly and severally liable for such maintenance, repair and/or replacement, and that the failure to maintain, repair or replace such common areas or common area improvements may result in the City of Leawood maintaining, repairing and replacing said common areas and/or improvements, and the cost incurred by the City of Leawood will be jointly and severally assessed against each lot, and will be the responsibility of the owner(s) of such lot.
9. A cross access/parking easement for the entire development shall be recorded with the Johnson County Registrar of Deeds prior to issuance of a building permit.
10. All downspouts shall be enclosed.
11. All sidewalks shall be installed as per street construction standards.
12. All pedestrian crosswalks shall be demarcated from the adjacent street pavement with pavers to match those approved for the Parkway Plaza development.
13. All trash enclosures shall be screened from public view with a 6 foot solid masonry structure to match the materials used in the buildings and shall be architecturally attached to the individual buildings and accented with appropriate landscaping. The gates of the trash enclosures shall be painted, sight obscuring, decorative steel.
14. Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utilities, meter banks and air conditioning units, shall be painted to blend with the building and screened from public view with landscaping or with an architectural treatment compatible with the building structure.
15. All rooftop equipment shall be screened from the public view with an architectural treatment, which is compatible with the building architecture. The height of the screen shall be at least as tall as the utilities being screened.
16. Per the Leawood Development Ordinance, at the time of planting, plant material screening the ground mounted utilities shall be a minimum of 6" taller than the utility it is to screen, with lower shrubs in the foreground to eliminate any gaps in screening.
17. Per the Leawood Development Ordinance, the source of illumination of all proposed light fixtures shall not be visible.
18. Per the Leawood Development Ordinance, the maximum foot-candles at the property line shall be 0.5 foot-candles.
19. A sign permit from the Planning Department shall be obtained prior to installation of any signs.
20. The approved final landscape plan shall contain the following statements:
 - a) All trees shall be callipered and undersized trees shall be rejected.
 - b) All parking lot islands shall be bermed to discourage foot traffic.
 - c) All hedges shall be trimmed to maintain a solid hedge appearance.

- d) All plant identification tags shall remain until issuance of a Final Certificate of Occupancy.
 - e) Any deviation to the approved final landscape plan shall require the written approval of the landscape architect and the City of Leawood, prior to installation.
 - f) All landscaped open space shall consist of a minimum of 60% living materials.
21. A letter, signed and sealed by a Kansas registered Landscape Architect, shall be submitted prior to final occupancy that states that all landscaping has been installed per the approved landscape plan and all plant material used is to the highest standards of the nursery industry.
 22. All landscaped areas shall be irrigated.
 23. An erosion control plan for both temporary and permanent measures to be taken during and after construction will be required at the time of application for building permit.
 24. No construction shall be allowed between the hours of 9:00 p.m. to 7:00 a.m. and not on Sundays.
 25. The conditions and stipulations of the preliminary plan approval of the original Parkway Plaza Development shall remain in full force and effect except to the extent expressly modified herein.
 26. Development rights under this approval shall vest in accordance with K.S.A. 12-764.
 27. In addition to the stipulations listed in this report, the developer/property owner agrees to abide by all ordinances of the City of Leawood Development Ordinance, unless a deviation has been granted, and to execute a statement acknowledging in writing that they agree to stipulations one through twenty-seven.



City of Leawood

4800 Town Center Drive • Leawood, Kansas 66211
Public Works Department • (913) 339-6700 x 130 • (913) 339-9374 Fax

MEMO

DATE: April 19, 2019

TO: Richard Coleman, Director of Community Development

FROM: Brian Scovill, P.E., City Engineer
Department of Public Works 

SUBJECT: Parkway Plaza Advance Cosmetic Surgery
Case Number: 31-19 Final Plan

The Department of Public Works has reviewed the aforementioned project and would like to make the following stipulations as part of the Planning Commission Approval:

- 1) Traffic Impact Analysis:
 - a) A traffic study was not required. The developer of Parkway Plaza provided a traffic study with the final overall site plan and the traffic study was approved at that time.
- 2) Storm Water Study:
 - a) Detention has been constructed on this site by the Parkway Plaza developer. This project will drain to the existing detention pond on the north side of 134th Street.
 - b) The developer is providing a rain garden on the north side of the building to meet the BMP requirements. The plants within the rain garden shall be similar to nearby raingardens within the Parkway Plaza Development.
 - c) For the stormwater BMP's, the minimum perennial plant size shall be one gallon and the minimum shrub size shall be a #3 pot.
 - d) The developer shall install a pipe from the downspouts to the raingarden.
 - e) The developer shall install an inlet and drain the dumpster drive aisle to the nearby inlet or directly to the rain garden without flumes.
 - f) The review of the final details of the bmp's, such as clean out spacing, pipe arrangement, soil mix, and plants, will be completed at the engineering plan submittal.
- 3) The parking lot pavement shall be constructed in accordance to the Leawood Development Ordinance.

- 4) All public improvements shall be designed and constructed in accordance with the City of Leawood Public Improvement Construction Standards as developed by the Department of Public Works (latest revision).
- 5) The developer shall obtain and submit to the Department of Public Works and the Building Official a copy of the NPDES Land Disturbance Permit issued by the Kansas Department of Health and Environment prior to any grading work at the site.
- 6) The Developer shall provide documentation by a licensed professional engineer certifying on City forms the BMPs have been constructed in accordance with City standards and the approved plans.
- 7) The developer shall provide as-built storm sewer information in accordance with our standards. This includes, but is not limited to, vertical and horizontal coordinates of all structures constructed or modified, flow line information at each structure, pipe size information, downstream structure numbers and type of structure. This information shall be provided to us on the Johnson County AIMS coordinate system. The spreadsheet for the data will be provided to the developer after the storm sewer improvements have been completed.
- 8) The Certificate of Occupancy will not be approved until the above requirements have been met.

If you have any questions, please call me at (913) 663-9134.

Copy: Project File
PW Book

Jessica Schuller

From: Gene Hunter
Sent: Monday, April 8, 2019 2:55 PM
To: Jessica Schuller
Subject: RE: Parkway Plaza - Advanced Cosmetic Surgery

Jessica,

The Fire Dept has no problems with the above site plan.

Gene Hunter, Leawood Fire Marshal

From: Jessica Schuller <jessicas@leawood.org>
Sent: Monday, April 8, 2019 9:40 AM
To: Gene Hunter <geneh@leawood.org>
Subject: Parkway Plaza - Advanced Cosmetic Surgery

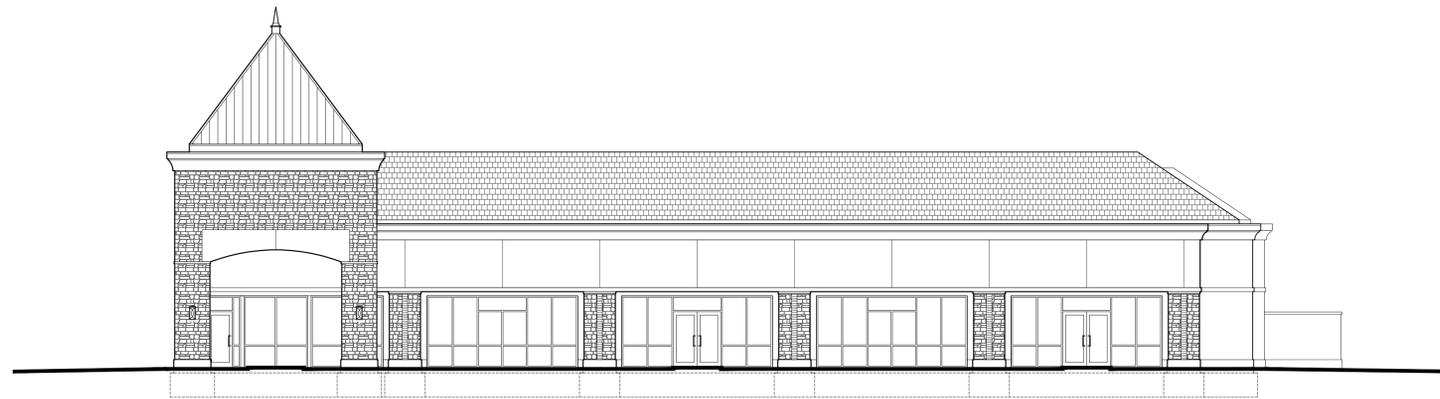
Jessica Schuller, AICP
City of Leawood
Planner II
jessicas@leawood.org
Tel (913) 663-9163

OFFICE BUILDING for:

ADVANCED COSMETIC SURGERY

Parkway Plaza

134th & Roe Avenue, Leawood, Kansas



ARCHITECT

DeGasperi & Associates
6240 W. 135th Street
Overland Park, Kansas 66223
tel: 913.647.5300 fax: 913.647.5301
E: jeff@daik.com

CIVIL ENGINEER

Schlagel & Associates
14920 W. 107th Street
Lenexa, Kansas 66215
tel: 913.492.5158
E: js@schlagelassociates.com

STRUCTURAL

Bob D. Campbell & Co.
4338 Bellevue
Kansas City, Missouri 64111
tel: 816.531.4144 fax: 816.4531.8572
E: mfabbe@bdc-engrs.com

BUILDER

Teague Construction
4220 Main Street
Grandview, Missouri 64030
tel: 816.763.1455 c: 816.918.3903
E: jeff@teagueconstruction.com

DEVELOPER

Adv. Cosmetic Surgery
14340 Metcalf Avenue
Overland Park, Kansas 66223
tel: 913.341.2168
Dr. Levi Young

April 9, 2019

FDP pkg

ACS Office Building
Leawood, Kansas

PROJECT SUMMARY

CODE FOOTPRINT

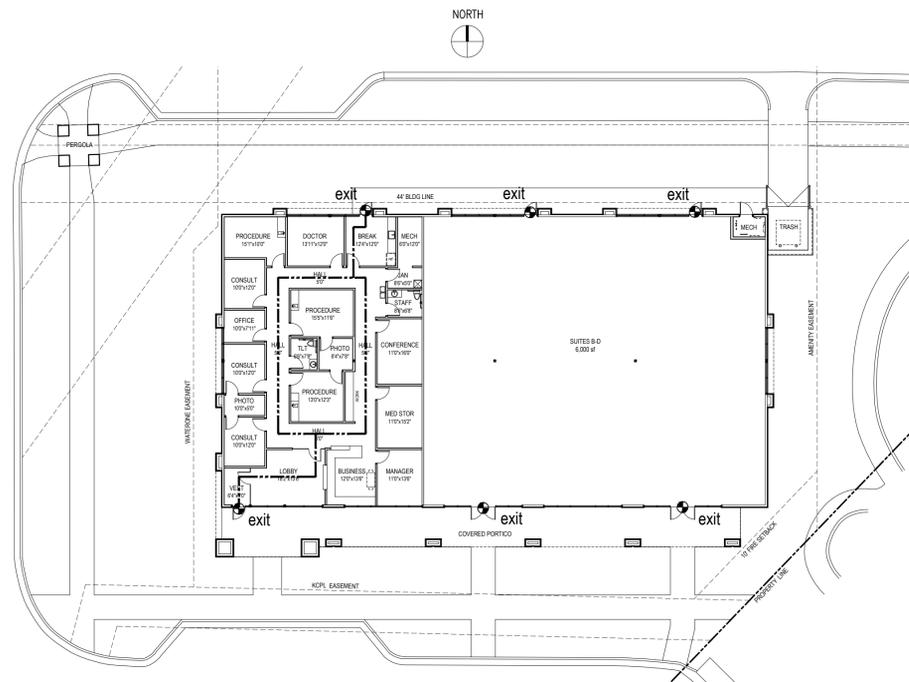
DRAWING INDEX

SHELL BUILDING SUMMARY:

Occupancy Type: Group B, Business
Max. Occupancy: 96 (1/100, IBC 1004.1.2)
Construction Type: Type V-B, non-sprinklered
Actual Total Area: 9,580 sf, gross
Basic Allow. Area: 9,000 sf, per floor (IBC 503)
Frontage * increase: $I(f) = 100 \times (F/F - .25) \times (W/30)$
 $= 100 \times (.75 - .25) \times 30/30$
 $= 50\%$
Sprinkler increase: $I(s) = 0\%$, non-sprinklered
Total Allowable: $A(a) = A(f) + (A(f)I(f) / 100) + (A(f)I(s) / 100)$
 $= 9000 + (9000 \times 50 / 100) + (0)$
 $= 13,500$ sf
Height, Actual: 22 ft., 1 story (42ft 'steeple' minus 20')
Height, Allowable: 40 ft., 2 stories
Auto. Sprinkler System: Not Sprinklered
Fire Alarm System: Not provided (not required)

TENANT SUMMARY:

Occupancy Type: Group B, Business
Construction Type: V-B, non-sprinklered
Tenant Area: 3,526 sf, usable
Max. Occupancy: 35 (100 sf/occ)
Number of Exits: Two (1 required, IBC 1015.1)
Max. Travel to Exit: 75' (200' allowable, IBC 1016.2)
Max. Common Path: 35' (75' allowable, 1014.3)
Auto. Sprinkler System: Not Sprinklered
Fire Alarm System: Not Provided (not required)
APPLICABLE CODES:
International Building Code (IBC), 2012
International Mechanical Code (IMC), 2012
International Plumbing Code (IPC), 2012
International Fire Code (IFC), 2012
International Fuel Gas Code (IFGC), 2012
National Electric Code, 2011
ICC/ANSI A-117.1, Accessibility Guidelines



SITework:

- C1.0 Site Plan
- C2.0 Site Grading Plan
- C3.0 BMP Plan
- C4.0 Overall Master Plan
- C5.0 Overall - Aerial Map
- C6.0 Open Space Plan
- PH1 Photometric Plan
- L1.0 Landscape Plan
- L2.0 Landscape Details

ARCHITECTURAL:

- A10 Floor Plan
- A12 Roof Plan
- A20 Exterior Elevations
- A21 Exterior Elevations
- A30 Building Sections
- A31 Building Sections
- (2 pg) Color Building Elevations

ARCHITECT
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STRUCTURAL
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Teague Construction
4220 Main Street
Grandview, Missouri 64030
tel: 816.763.1455
e: jeff@teagueconstruction.com

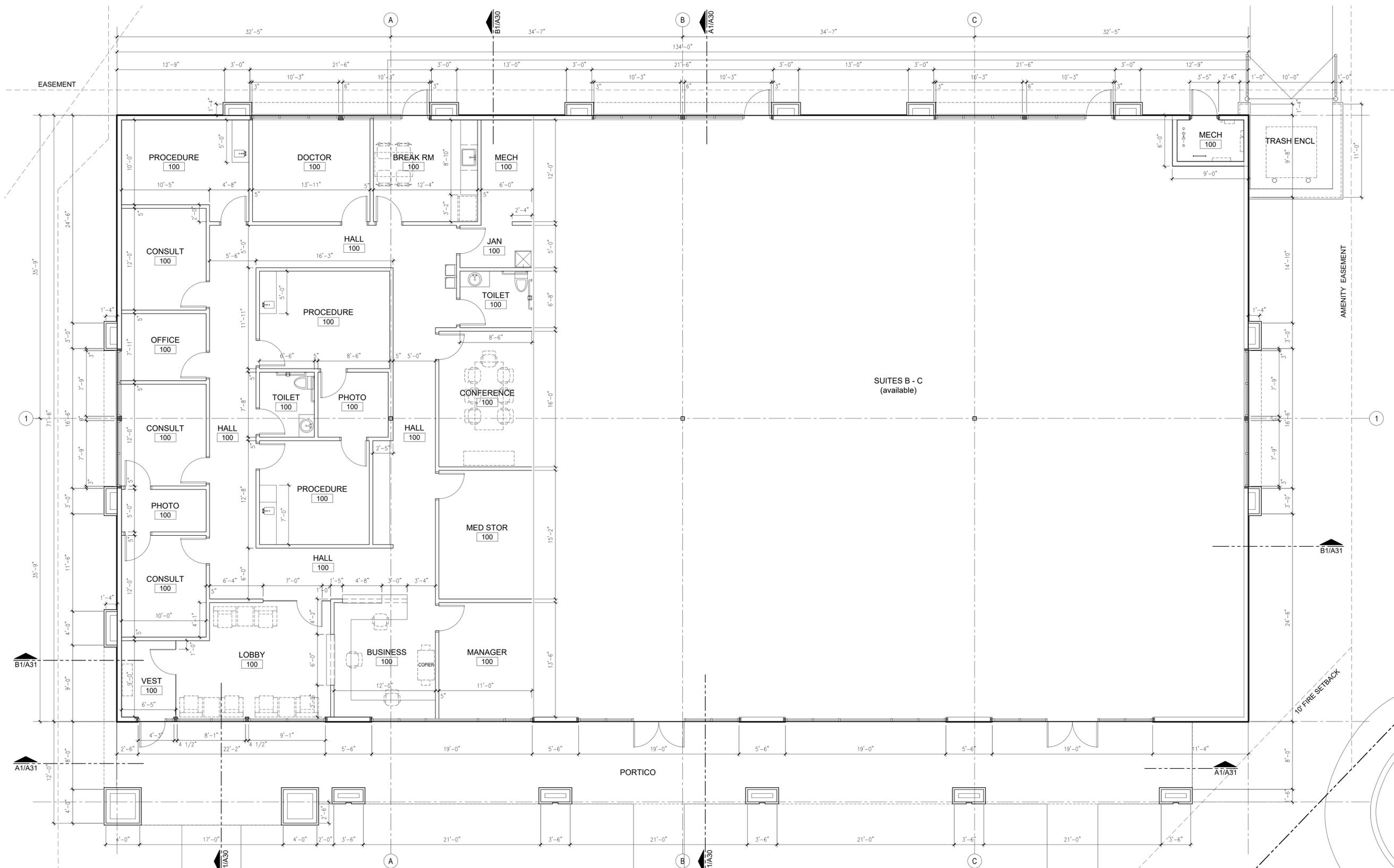
DEVELOPER
Dr. Levi Young
14340 Metcalf Avenue
Overland Park, Kansas 66223
tel: 913.341.2188

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134th & Roe Avenue
Leawood, Kansas

Issue	Date
Review Set	2.24.19
FDP Submittal	3.18.19
FDP Rev 1	4.09.19

Floor Plan
A10



B4 FLOOR PLAN
SCALE: 3/16" = 1' - 0"



total area - 9,580 sf

- A DEMISE WALL:**
6" METAL STUDS (U.N.O.) @ 16" o.c., W/ 5/8" GYP. BD., ON ONE SIDE ONLY (tenant side), TO DECK, WITH SOUND BATT INSULATION
- B STANDARD INTERIOR PARTITION:**
3 5/8" METAL STUDS (U.N.O.) @ 16" o.c., W/ 5/8" GYP. BD., EA. SIDE, TO 4" ABOVE CEILING.
- C MODIFIED INTERIOR PARTITION:**
3 5/8" METAL STUDS (U.N.O.) @ 16" o.c., W/ 5/8" GYP. BD., ONE SIDE TO DECK, OTHER SIDE TO 4" ABOVE CEILING.
- D ONE-SIDE PARTITION:**
3 5/8" METAL STUDS (U.N.O.) @ 16" o.c., W/ 5/8" GYP. BD., ON ONE SIDE, TO DECK (OR 4" ABOVE CEILING, AS OCCURS).
- NOTES:**
a. * SHALL DENOTE WALLS WITH SOUND BATT INSULATION.
b. INSTALL 5/8" GYPSUM BOARD ON INTERIOR SIDE OF EXTERIOR WALLS WITHIN THE FINISHED TENANT SPACE, TYPICAL.

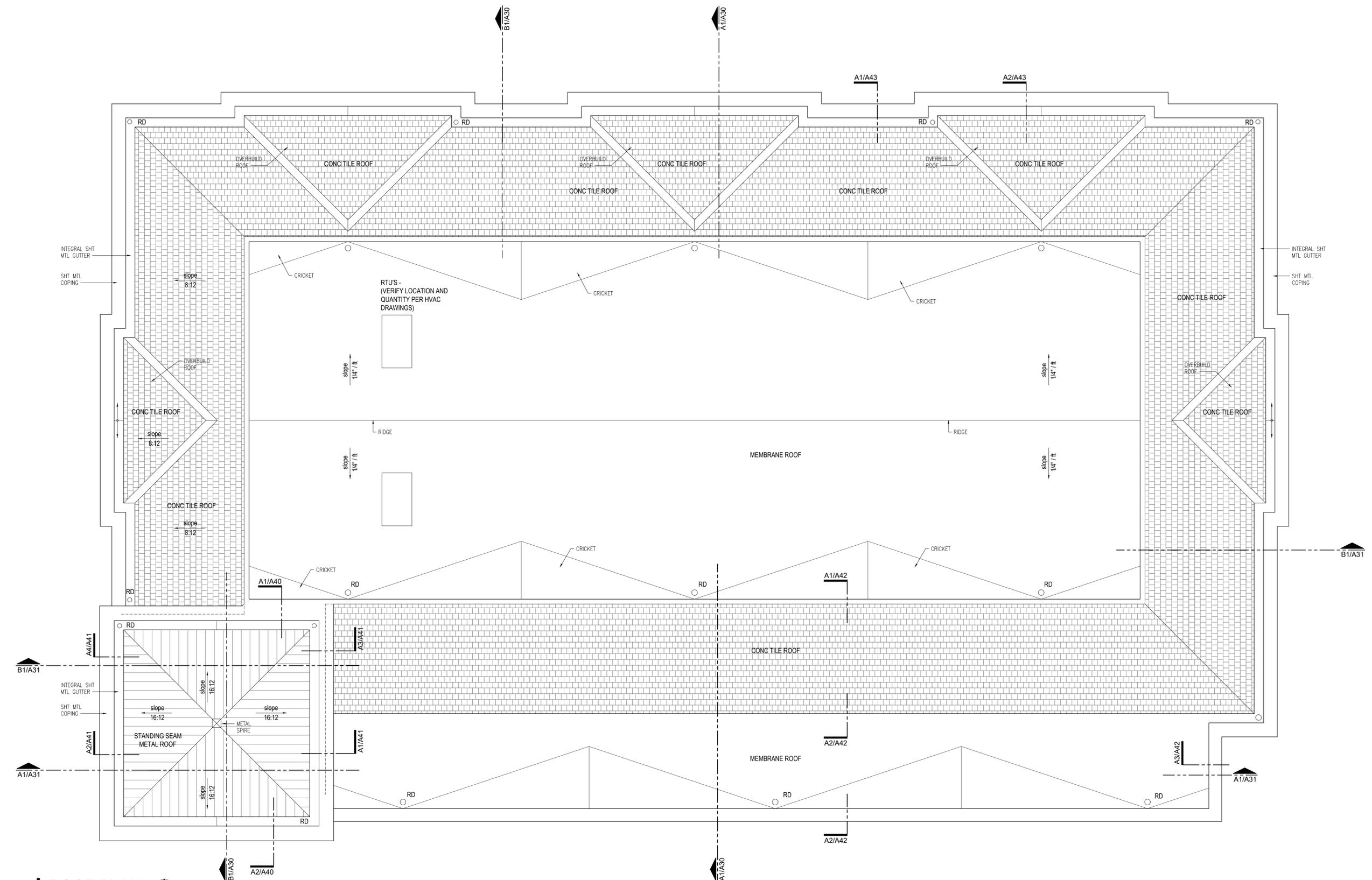
WALL TYPES

- ① 6" dia steel bollard, concrete filled, painted, 42" above grade. Set in 16" dia concrete footing, 36" deep minimum.
- ② Column cover; prefin alum, match window framing.
- ③ Electric Gear; per electrical drawings.
- ④ Steel Ladder to attic.
- ⑤ Knox-box.
- ⑥ Frameless window and door system.
- ⑦ Fire Extinguisher Cabinet, Semi-recessed Style (J.L. Industries 'Ambassador' 1017V10), with 2A10BC 5lb. Fire Extinguisher. Mount at 42" a.f.f. to handle.

PLAN KEY NOTES

1. Exterior/Building Shell dimensions are to slab edge or face of stud, typical.
2. Interior dimensions are to face of finish wall, typical. Allow 5" nominal for thickness of a typical wall.
3. At Finished Tenant Areas (only): Provide 5/8" gypsum board on exterior walls to 4" above ceiling, minimum. Assure full insulation coverage and infill of all voids to the exterior, to seal against air infiltration. Provide gyp. return at window jambs and heads and sills.
4. All mechanical, electrical and plumbing information shown on architectural drawings is for information and coordination only. Refer to MEP drawings for actual requirements.
5. Provide blocking in walls as required for anchorage of wall mounted equipment and devices (ie, casework, grab bars, toilet partitions, etc).
6. Provide moisture resistant gypsum board (greenboard) in the following locations:
a. Toilet Rooms, on wet walls and walls adjacent to wet walls.
b. Janitor Rooms with mop sinks.
c. Walls adjacent to plumbing fixtures or equipment with a water supply (to 4" from fixture).
7. Provide cement board (dura-wall, etc) in the following locations:
a. As substrate for tile or masonry finishes.
8. Provide fire-sprinkler system throughout, per compliance with NFPA-13.
9. Provide attic access, one minimum to each attic area.

GENERAL NOTES



B4 ROOF PLAN
SCALE: 3/16" = 1' - 0"
north

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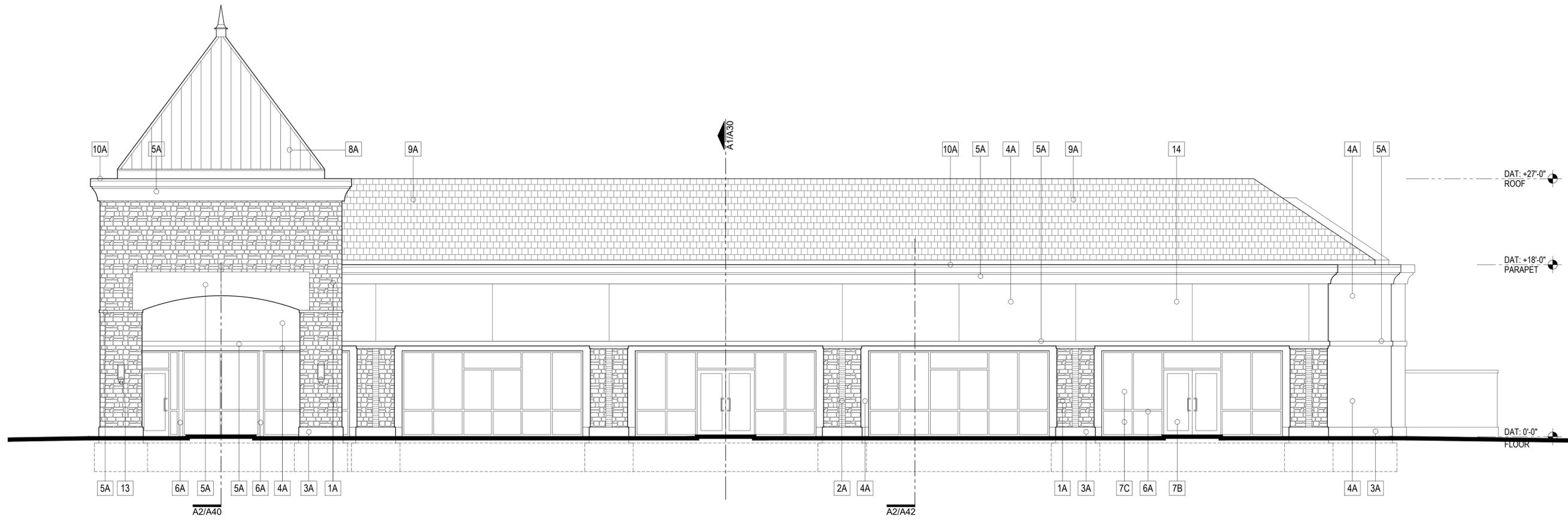
134th & Roe Avenue
Leawood, Kansas

1. Refer to Mechanical Plan and Structural Roof Framing Plan for locations and sizes of Rooftop Mechanical Units.
2. Refer to Plumbing Plan for Specifications and locations of roof drains.
3. All materials exposed to the concealed attic spaces shall be non-combustible or fire-treated materials. this includes the roof and wall sheathing of the sloped mansards and tower roofs. (Required for compliance with NFPA-13 for non-sprinklering of concealed spaces).
4. ATTIC ACCESS PANELS:
 - a. Provide insulated metal access panels for access to the attic from the roof in location shown on plan.
 - b. Unit shall be Exterior Access Panel model XPA by J.L. Industries, or equal.
 - c. Size shall be 30"w x 36"h.

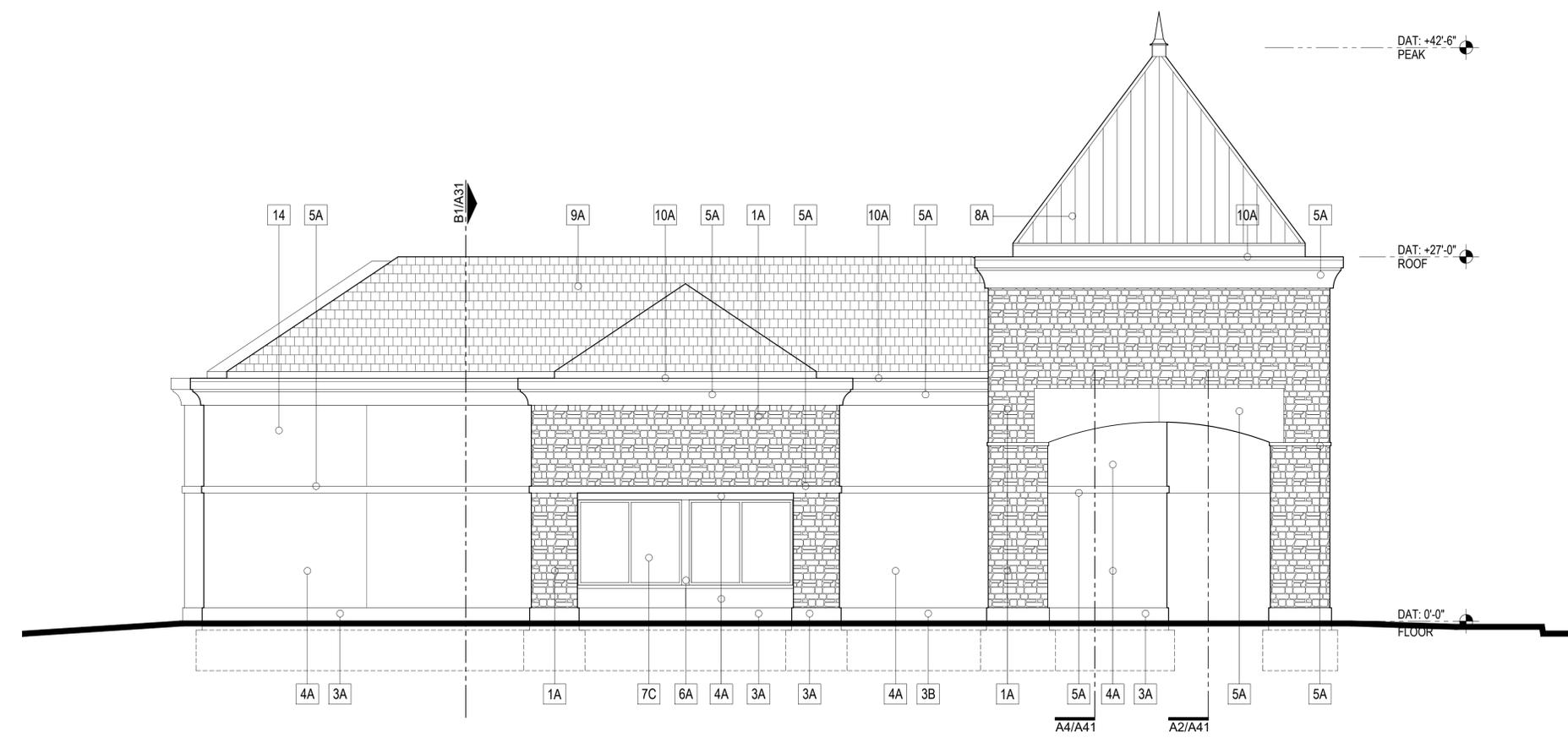
GENERAL NOTES

Issue	Date
Review Set	2.24.19
Review Set	3.18.19

Roof Plan
A12



B4 | SOUTH ELEVATION
SCALE: 1/8" = 1' - 0"



A4 | WEST ELEVATION
SCALE: 1/8" = 1' - 0"

1 STONE:	manf. - US STONE type A - "Cottonwood" natural thin veneer, grouted; 30% tuscan field stone natural face 40% tuscan field stone split face 30% web wall
2 THIN-BRICK:	manf. - SUMMIT BRICK (or equal) type - Thin-Brick, Modular Size, grouted Type A - "Questa" 357, velour (running bond)
3 PRECAST:	manf. - CONTINENTAL (or equal) type - architectural precast color - Continental #1102 or sim type A - 4"-d nom (3/2"), ht per dwgs type B - 2"-d nom (1-1/2"), ht per dwgs type C - cast wall cap
4 STUCCO:	type - CEMENTITIOUS STUCCO, 2 step finish - Stucco, "Sandblast" texture reveals - V-groove, preman metal (med field) color A - SW7595 "Mesa Tan" (light field) color B - SW7532 "Urban Putty" (light field)
5 EIFS TRIM:	type - foam profiles per drawings finish - Stucco, "Sandblast" texture color A - SW7532 "Urban Putty" (light trim)
6 STOREFRONT:	material - ALUMINUM FRAMING manf. - EFCO (or equal) style - 2" x 4.5", Thermal Broken finish - Duranar/Polymer Paint color A - "Brown" 647-093
7 GLAZING:	type A - 1/4" glass type B - 5/8" insulative glass- solargrey type C - 1" insulative glass- solargrey See window types for more info
8 METAL ROOF:	type - STANDING SEAM METAL finish - Polished Painted color A - Bernidge "Medium Bronze"
9 CONC TILE ROOF:	manf. - STONEWORTH style - Oxford Series (slate' look) color A - "Buff"
10 SHEET METAL:	finish - GALVALLUME, KYNAR PAINTED color A - UNA-CLAD - "Almond" color B - UNA-CLAD - "Medium Bronze"
11 SERVICE GATE:	mtl panel - galv mtl plates, recessed panels (match adjacent bldgs, ie Romanelli) stl frame - galv steel tubes & posts color - painted, color C
12 PAINT COLORS:	color A - SW7532 "Urban Putty" color B - SW7026 "Griffin" color C - SW7020 "Black Fox"
13 LIGHT FIXTURE:	type - WALL MOUNTED LIGHT FIXTURE style - Refer to Electrical Drawings
14 TENANT SIGNS:	type - INDIVIDUAL LETTERS - Per Tenant Vendor, under sep sign package - GC to provide plywd substrate at area indicated.

EXTERIOR MATERIALS

SIGNAGE DESCRIPTION:
Letters: Individual letters, mounted to face of building (no raceways)
Lighting: Internally illuminated, concealed.
Face: Translucent plexiglass, colors allowed.
Sides: Aluminum side returns, painted earth tone colors to complement building.
Options: Reverse channel "halo" lighting is acceptable.
Quantity: 1 per tenant, 3 sides of building
Size: Max 5% of tenant facade per sign
24" max letter height
4" max overall sign
Permit: Vendor(s) to submit to City

SIGNAGE NOTES

- GENERAL NOTES:**
- Style and Color Palette are intended to complement the colors and materials of the existing adjacent structures in the Development, and comply with "Parkway Plaza Guidelines".
 - Rooftop Mechanical Equipment shall be fully screened by the roofparapets.
 - All site-mounted equipment shall be screened from view with landscaping or site walls.
 - The trash enclosure shall be constructed of masonry, with stone veneer to match the building.
 - Submit samples for all exterior materials and colors for approval or final selection prior to ordering.
 - Glazing in hazardous locations as defined by 2012 IBC shall be tempered:
 - Doors
 - Sidelights by Doors
 - Window panes adjacent to floor
 - All roof drains are internal.
 - Provide 8" high vinyl address letters on glass above entry doors for each Suite, in compliance with Fire Dept guidelines.

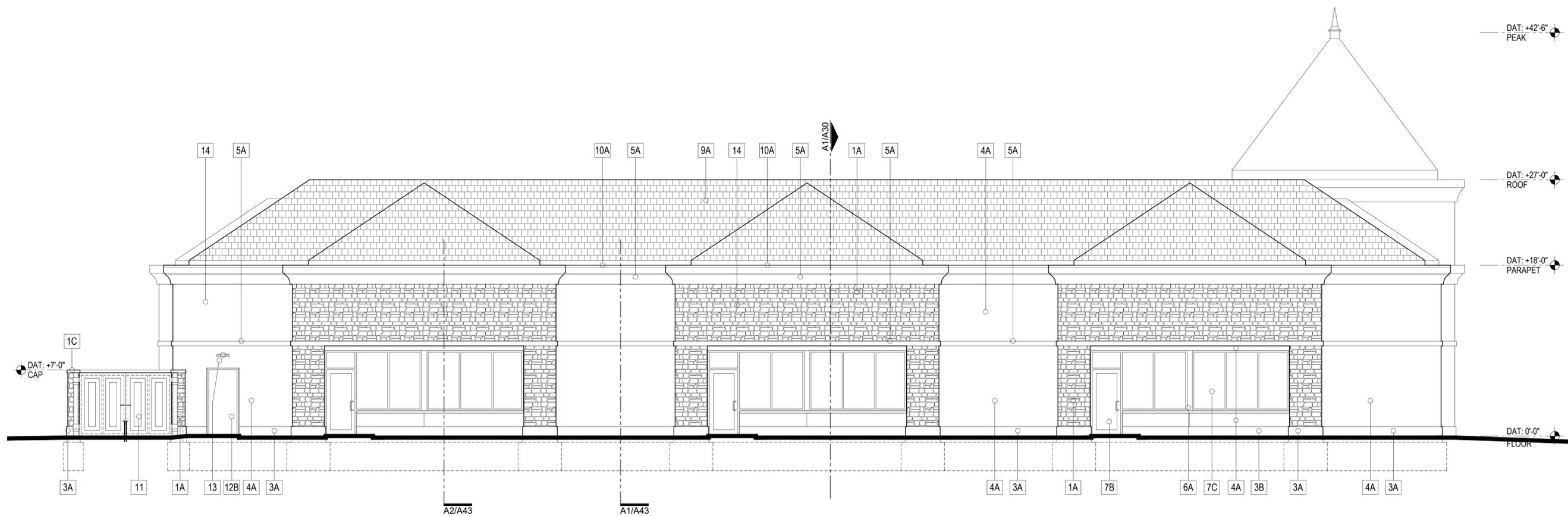
GENERAL NOTES

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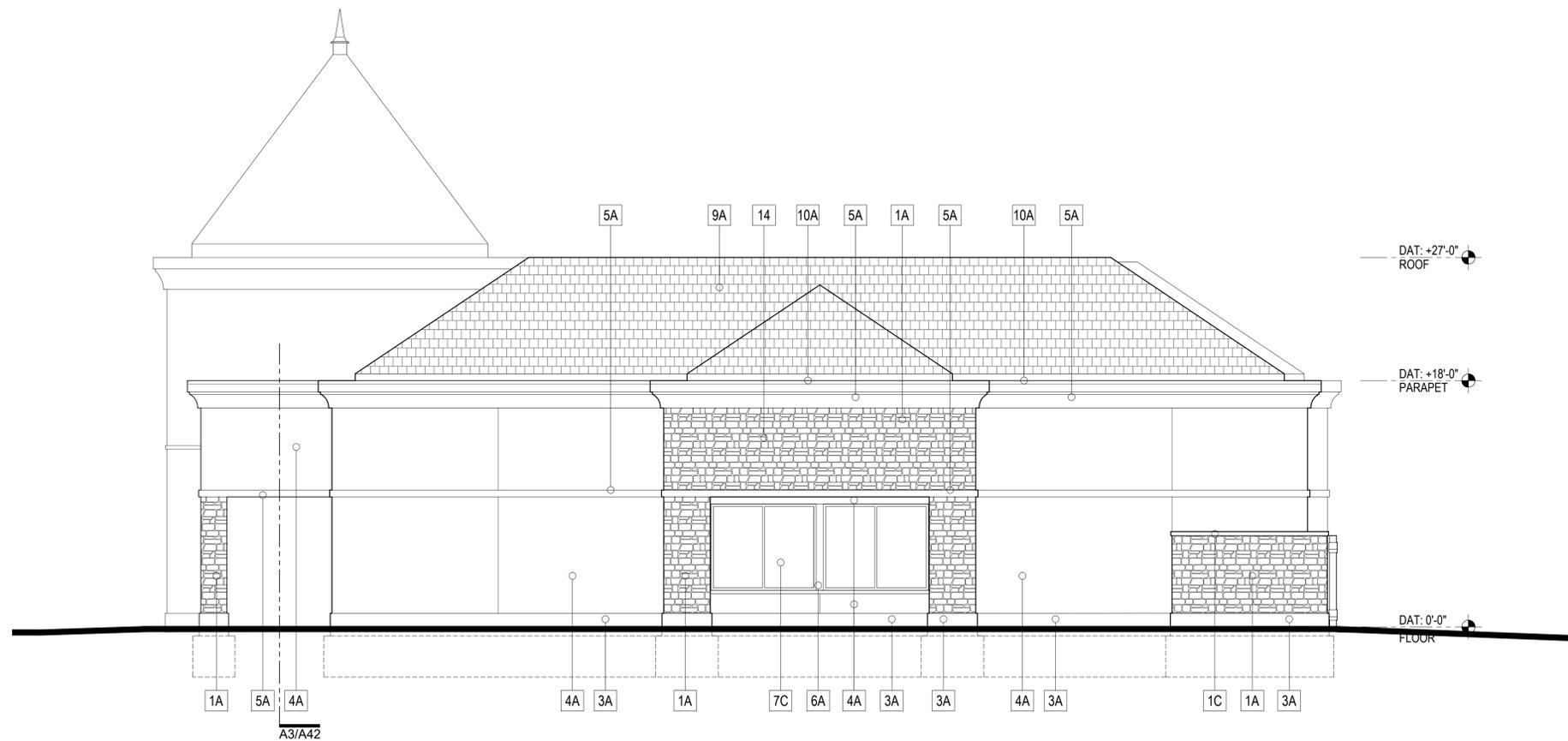
134th & Roe Avenue
Leawood, Kansas

Issue	Date
Review Set	2.24.19
FDP Submittal	3.18.19
FDP Rev 1	4.01.19

Elevations
A20



B4 NORTH ELEVATION
SCALE: 1/8" = 1' - 0"



A4 EAST ELEVATION
SCALE: 1/8" = 1' - 0"

1 STONE:	manf. - US STONE type A - "Cottonwood" natural thin veneer, grouted; 30% tuscan field stone natural face 40% tuscan field stone split face 30% web wall
2 THIN-BRICK:	manf. - SUMMIT BRICK (or equal) type - Thin-Brick, Modular Size, grouted Type A - "Questa" 357, velour (running bond)
3 PRECAST:	manf. - CONTINENTAL (or equal) type - architectural precast color - Continental #1102 or sim type A - 4"-d nom (3/2"), ht per dwgs type B - 2"-d nom (1-1/2"), ht per dwgs type C - cast wall cap
4 STUCCO:	type - CEMENTITIOUS STUCCO, 2 step finish - Stucco, "Sandblast" texture reveals - V-groove, preanod metal (med field) color A - SW7695 "Mesa Tan" (light field) color B - SW7532 "Urban Putty" (light field)
5 EIFS TRIM:	type - foam profiles per drawings finish - Stucco, "Sandblast" texture color A - SW7532 "Urban Putty" (light trim)
6 STOREFRONT:	material - ALUMINUM FRAMING manf. - EFCO (or equal) style - 2" x 4.5", Thermal Broken finish - Duranar/Polymer Paint color A - "Brown" 647-093
7 GLAZING:	type A - 1/4" glass type B - 5/8" insulative glass- solargrey type C - 1" insulative glass- solargrey See window types for more info
8 METAL ROOF:	type - STANDING SEAM METAL finish - Polished Painted color A - Bernidge "Medium Bronze"
9 CONC TILE ROOF:	manf. - STONEWORTH style - Oxford Series (slate' look) color A - "Buff"
10 SHEET METAL:	finish - GALVALUME, KYNAR PAINTED color A - UNA-CLAD - "Almond" color B - UNA-CLAD - "Medium Bronze"
11 SERVICE GATE:	mtl panel - galv mtl plates, recessed panels (match adjacent bldgs, ie Romanelli) stl frame - galv steel tubes & posts color - painted, color C
12 PAINT COLORS:	color A - SW7532 "Urban Putty" color B - SW7026 "Griffin" color C - SW7020 "Black Fox"
13 LIGHT FIXTURE:	type - WALL MOUNTED LIGHT FIXTURE style - Refer to Electrical Drawings
14 TENANT SIGNS:	type - INDIVIDUAL LETTERS - Per Tenant Vendor, under sep sign package - GC to provide plywd substrate at area indicated.

EXTERIOR MATERIALS

SIGNAGE DESCRIPTION:
Letters: Individual letters, mounted to face of building (no raceways)
Lighting: Internally illuminated, concealed.
Face: translucent plexiglass, colors allowed.
Sides: Aluminum side returns, painted earth tone colors to complement building.
Options: Reverse channel "halo" lighting is acceptable.
Quantity: 1 per tenant, 3 sides of building
Size: Max 5% of tenant facade per sign
24" max letter height
4" max overall sign
Permit: Vendor(s) to submit to City

SIGNAGE NOTES

- GENERAL NOTES:**
- Style and Color Palette are intended to complement the colors and materials of the existing adjacent structures in the Development, and comply with "Parkway Plaza Guidelines".
 - Roof Mechanical Equipment shall be fully screened by the roofparapets.
 - All site-mounted equipment shall be screened from view with landscaping or site walls.
 - The trash enclosure shall be constructed of masonry, with stone veneer to match the building.
 - Submit samples for all exterior materials and colors for approval or final selection prior to ordering.
 - Glazing in hazardous locations as defined by 2012 IBC shall be tempered:
 - Doors
 - Sideights by Doors
 - Window panes adjacent to floor
 - All roof drains are internal.
 - Provide 8" high vinyl address letters on glass above entry doors for each Suite, in compliance with Fire Dept guidelines.

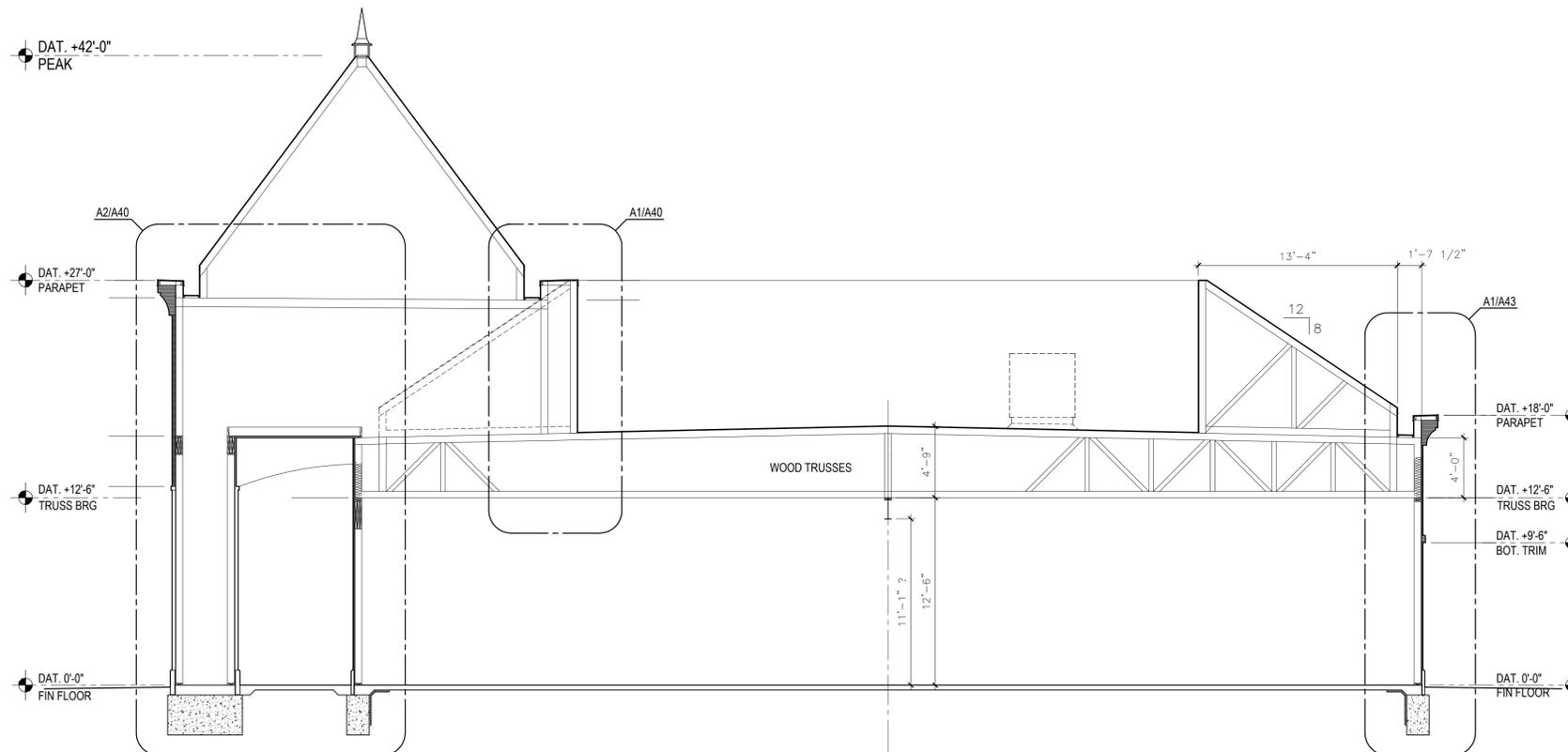
GENERAL NOTES

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Surgery

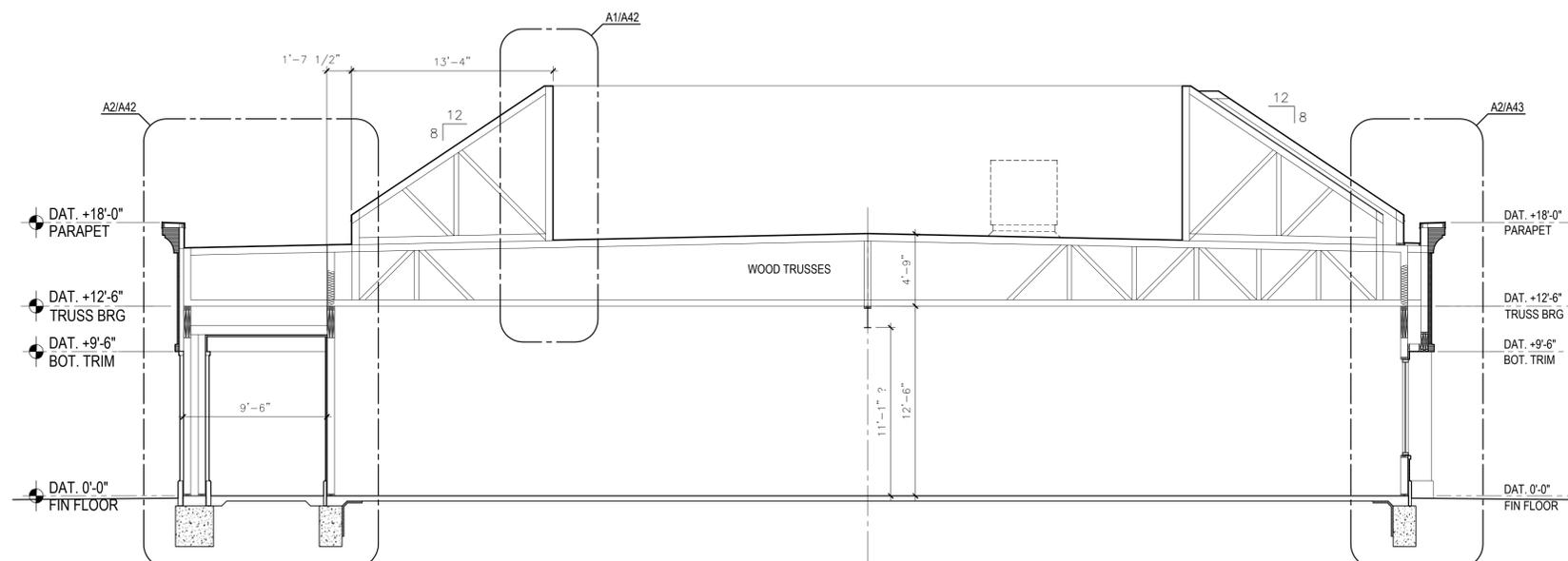
134th & Roe Avenue
Leawood, Kansas

Issue	Date
Review Set	2. 24. 19
FDP Submittal	3. 18. 19
FDP Rev 1	4. 01. 19

Elevations
A21



B1 BUILDING CROSS SECTION looking West
SCALE: 3/16" = 1' - 0"



A1 BUILDING CROSS SECTION looking West
SCALE: 3/16" = 1' - 0"

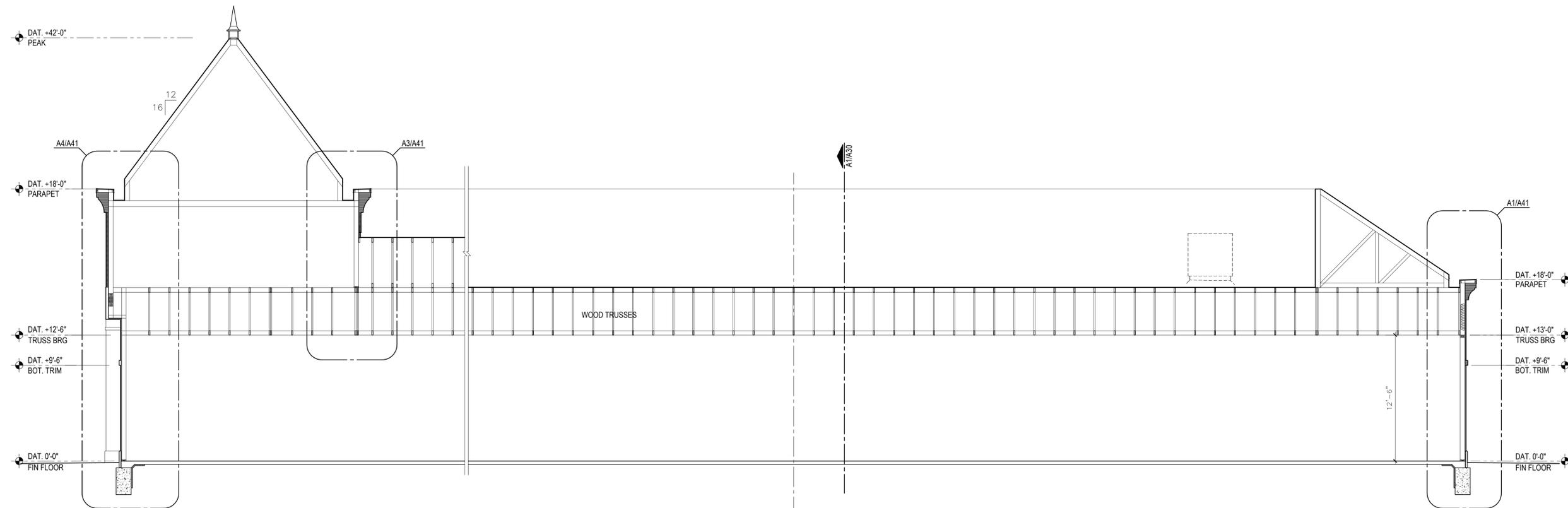
Office Building

Advanced
Cosmetic
Surgery

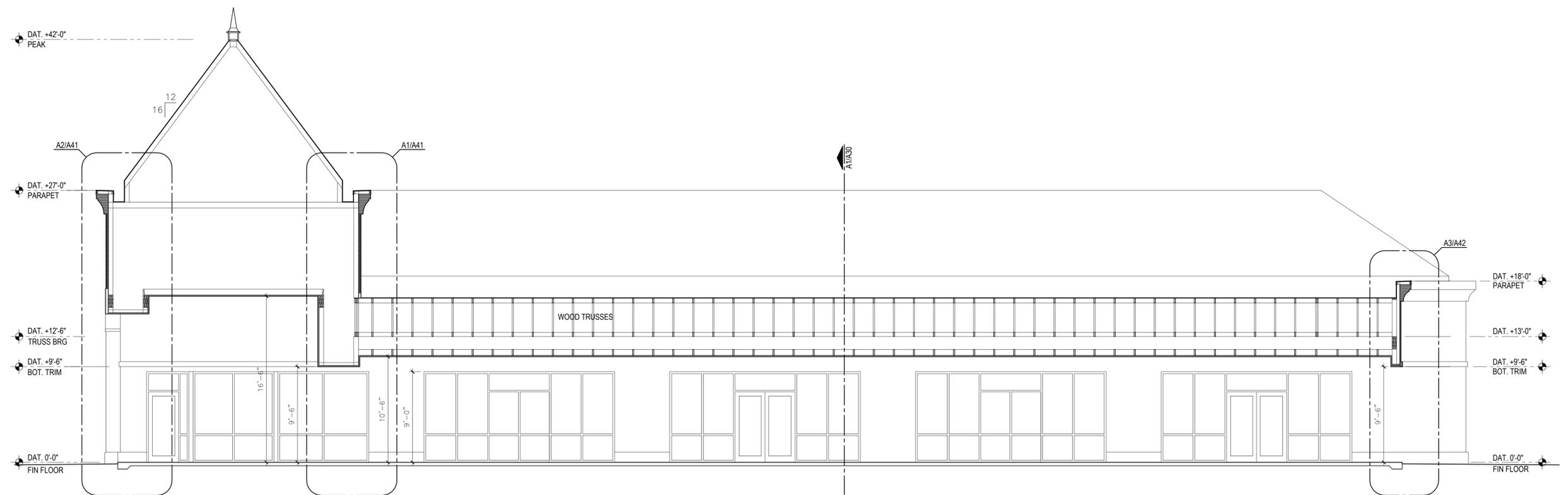
134th & Roe Avenue
Leawood, Kansas

Issue	Date
Review Set	2.24.19
Review Set	3.18.19

Building
Sections
A30



B1 BUILDING CROSS SECTION looking North
SCALE: 3/16" = 1' - 0"



A1 BUILDING CROSS SECTION looking North
SCALE: 3/16" = 1' - 0"

Office Building

**Advanced
Cosmetic
Surgery**

134th & Roe Avenue
Leawood, Kansas

Issue	Date
Review Set	2.24.19
Review Set	3.18.19

**Building
Sections
A31**



SOUTH ELEVATION

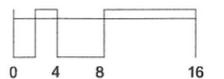


WEST ELEVATION

- 1 STONE:
 - manf. - US STONE
 - type A - "Cottonwood" natural thin veneer, grouted:
 - 30% tuscan field stone natural face
 - 40% tuscan field stone split face
 - 30% web wall
- 2 THIN-BRICK:
 - manf - SUMMIT BRICK (or equal)
 - type - Thin-Brick, Modular Size, grouted
 - Type A - "Questa" 357, velour (running bond)
- 3 PRECAST:
 - manf. - CONTINENTAL (or equal)
 - type - architectural precast
 - color - Continental #1102 or sim
 - type A - 4"d nom (3/2"), ht per drwgs
 - type B - 2"d nom (1-1/2"), ht per drwgs
 - type C - cast wall cap
- 4 STUCCO:
 - type - CEMENTITIOUS STUCCO, 2 step
 - finish - Acrylic Stucco, "Sandblast" texture
 - reveals - V-groove, premanf metal
 - color A - SW7695 "Mesa Tan" (med field)
 - color B - SW7532 "Urban Putty" (light field)
- 5 EIFS TRIM:
 - manf - DRYVIT (or equal)
 - finish - Acrylic stucco, "Sandblast" texture
 - color A - SW7532 "Urban Putty" (light trim)
- 6 STOREFRONT:
 - material - ALUMINUM FRAMING
 - manf - EFCO (or equal)
 - style - 2" x 4.5", Thermal Broken
 - finish - Duranar/Poymer Paint
 - color A - "Brown" 647-093
- 7 GLAZING:
 - type A - 1/4" glass
 - type B - 5/8" insulative glass- solargrey
 - type C - 1" insulative glass- solargrey
 - See window types for more info
- 8 METAL ROOF:
 - type - STANDING SEAM METAL
 - finish - Prefinished Painted
 - color A - Berridge 'Medium Bronze'
- 9 CONC TILE ROOF:
 - manf - STONEWORTH
 - style - Oxford Series ('slate' look)
 - color A - 'Buff'
- 10 SHEET METAL:
 - finish - GALVALUME, KYNAR PAINTED
 - color A - UNA-CLAD - "Almond"
 - color B - UNA-CLAD - "Medium Bronze"
- 11 SERVICE GATE:
 - mtl panel - galv mtl plates, recessed panels (match adjacent bldgs, ie Romanelli)
 - stl frame - galv steel tubes & posts
 - color - painted, color C
- 12 PAINT COLORS:
 - color A - SW7532 "Urban Putty"
 - color B - SW7026 "Griffin"
 - color C - SW7020 "Black Fox"
- 13 LIGHT FIXTURE:
 - type - WALL MOUNTED LIGHT FIXTURE
 - style - Refer to Electrical Drawings
- 14 TENANT SIGNS:
 - type - INDIVIDUAL LETTERS
 - Per Tenant Vendor, under sep sign package
 - GC to provide plywd substrate at area indicated.

Elevations - Option 'A1'

April 1, 2019





NORTH ELEVATION

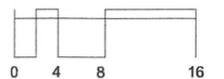


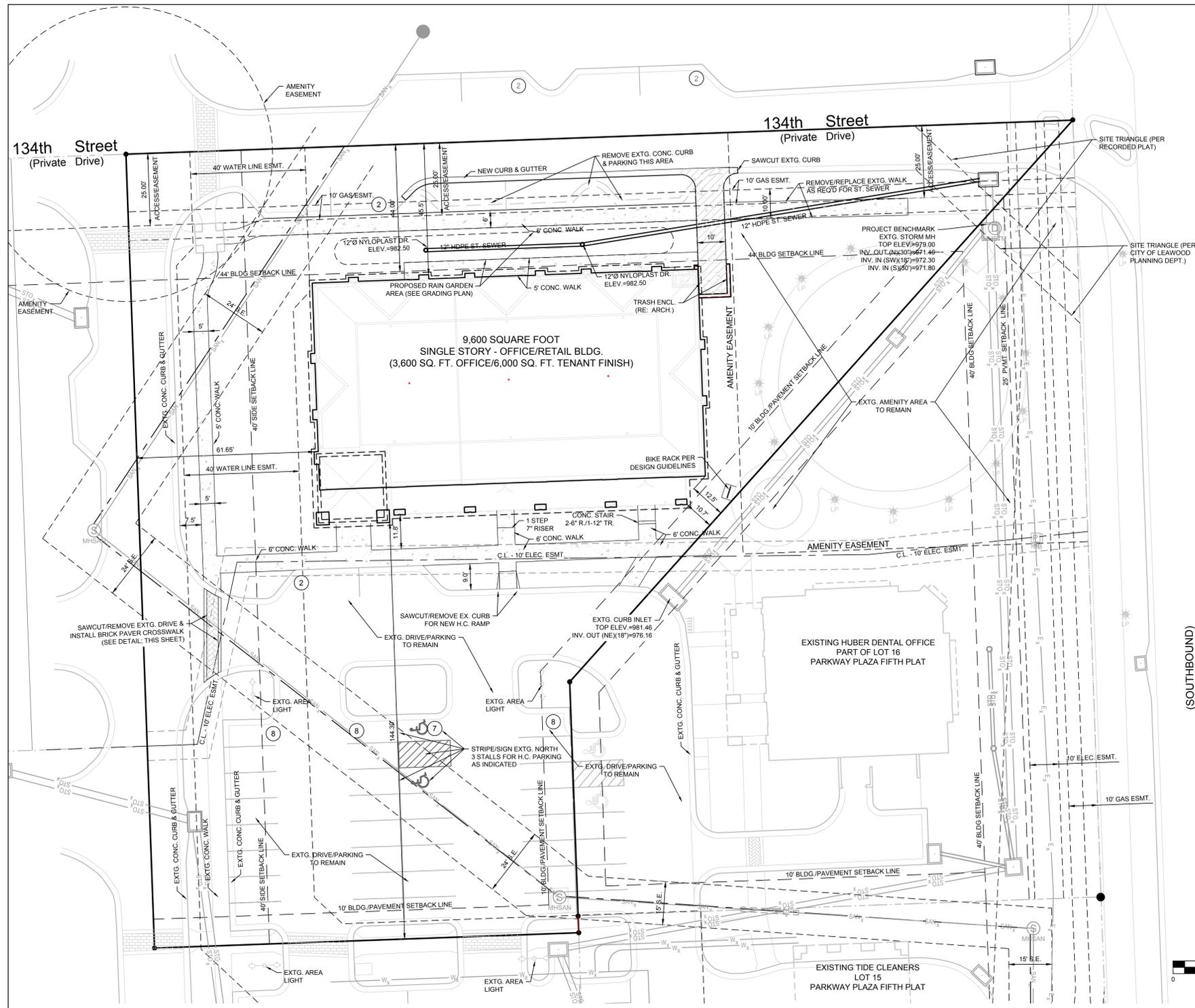
EAST ELEVATION

- | | | |
|----|-----------------------|--|
| 1 | STONE: | manf. - US STONE
type A - "Coltonwood" natural thin veneer, grouted:
30% tuscan field stone natural face
40% tuscan field stone split face
30% web wall |
| 2 | THIN-BRICK: | manf. - SUMMIT BRICK (or equal)
type - Thin-Brick, Modular Size, grouted
Type A - "Questa" 357, velour (running bond) |
| 3 | PRECAST: | manf. - CONTINENTAL (or equal)
type - architectural precast
color - Continental #1102 or sim
type A - 4" d nom (3/2"), ht per dwgs
type B - 2" d nom (1-1/2"), ht per dwgs
type C - cast wall cap |
| 4 | STUCCO: | type - CEMENTITIOUS STUCCO, 2 step
finish - Stucco, "Sandblast" texture
reveals - V-groove, premanf metal
color A - SW7695 "Mesa Tan" (med field)
color B - SW7532 "Urban Putty" (light field) |
| 5 | EIFS TRIM: | type - foam profiles per drawings
finish - Stucco, "Sandblast" texture
color A - SW7532 "Urban Putty" (light trim) |
| 6 | STOREFRONT: | material - ALUMINUM FRAMING
manf. - EFCO (or equal)
style - 2" x 4.5", Thermal Broken
finish - Duranar/Polymer Paint
color A - "Brown" 647-093 |
| 7 | GLAZING: | type A - 1/4" glass
type B - 5/8" insulative glass- solargrey
type C - 1" insulative glass- solargrey
See window types for more info |
| 8 | METAL ROOF | type - STANDING SEAM METAL
finish - Prefinished Painted
color A - Berridge "Medium Bronze" |
| 9 | CONC TILE ROOF | manf. - STONEWORTH
style - Oxford Series ('slate' look)
color A - "Buff" |
| 10 | SHEET METAL: | finish - GALVALUME, KYNAR PAINTED
color A - UNA-CLAD - "Almond"
color B - UNA-CLAD - "Medium Bronze" |
| 11 | SERVICE GATE | mtl panel - galv mtl plates, recessed panels
(match adjacent bldgs, ie Romanelli)
stl frame - galv steel tubes & posts
color - painted, color C |
| 12 | PAINT COLORS: | color A - SW7532 "Urban Putty"
color B - SW7026 "Griffin"
color C - SW7020 "Black Fox" |
| 13 | LIGHT FIXTURE: | type - WALL MOUNTED LIGHT FIXTURE
style - Refer to Electrical Drawings |
| 14 | TENANT SIGNS: | type - INDIVIDUAL LETTERS
- Per Tenant Vendor, under sep sign package
- GC to provide plywd substrate at area indicated. |

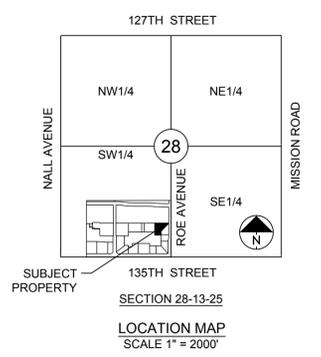
Elevations - Option 'A1'

April 1, 2019





SITE DATA TABLE		
LOT AREA:	57,681 SQ. FT. (1.32 AC)	
BUILDING AREA	EXISTING	PROPOSED
	0 S.F. (0.00%)	9,600 S.F. (16.64%)
PAVEMENT/DRIVE AREA	26,376 S.F. (45.73%)	30,731 S.F. (53.28%)
OPEN/LANDSCAPE AREA	31,305 S.F. (54.27%)	17,350 S.F. (30.08%)



Site Information:
 Lot Area: 57,681 Square Feet (1.32 Ac.)
 Proposed Floor Area Ratio (F.A.R.) = 0.17
 Property Address: No Address Assigned Leawood, Kansas
 Current Zoning: MXD - Mixed Use
 Proposed Zoning: MXD - Mixed Use - No Change
 Current Use: Vacant Tract
 Proposed Use: Commercial - Office
 Required Parking:
 Office/Retail: 9600 sq. ft. - 4/1000 = 38.4 stalls = 38 stalls
 # Proposed Parking (on-site) 35 Stalls (2 handicap-accessible stalls)*

PAVEMENT LEGEND:

[Symbol]	ASPHALT PAVEMENT
[Symbol]	4" CONCRETE SIDEWALK
[Symbol]	8" CONCRETE DRIVE
[Symbol]	BRICK PAVER CROSSWALK PER PARKWAY PLAZA DESIGN GUIDELINES
[Symbol]	EXISTING CURB & GUTTER
[Symbol]	TYPE "B" CURB & GUTTER
[Symbol]	TYPE "B" CURB & GUTTER - DRY
[Symbol]	24" WIDE, CONC. RIBBON CURB

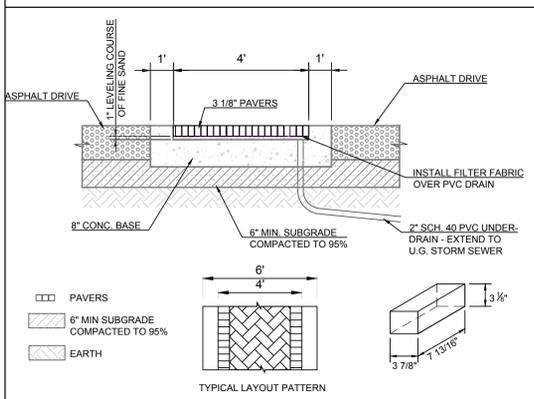
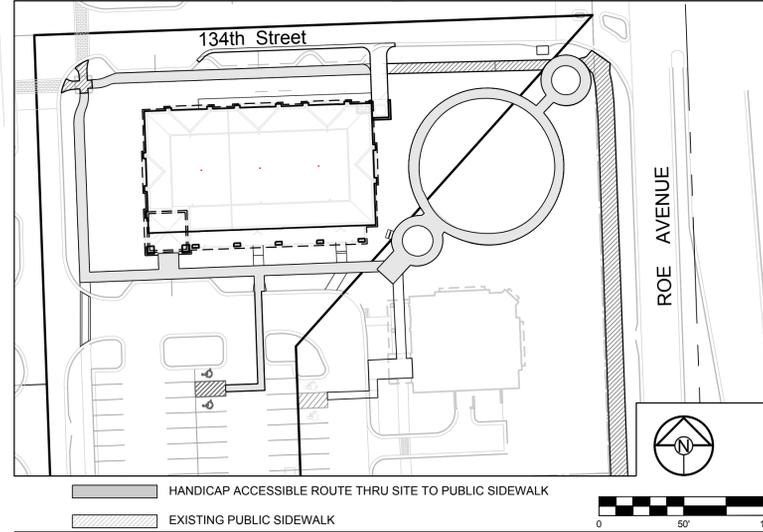
*Cross parking/cross access agreements have been established per Parkway Plaza Business Declarations

LEGAL DESCRIPTION:

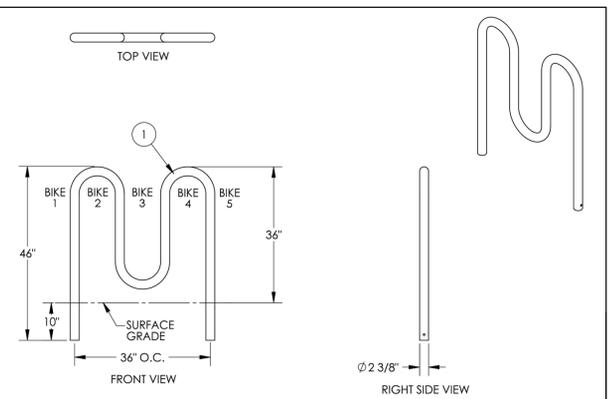
All of Lot 16, PARKWAY PLAZA, FIFTH PLAT, a subdivision in the City of Leawood, Johnson County, Kansas, EXCEPT all that part of Lot 16, Parkway Plaza, Fifth Plat, a subdivision in the City of Leawood, Johnson County, Kansas more particularly described as follows:
 Beginning at the Northeast corner of said Lot 16; thence South 02 degrees 05 minutes 26 seconds East along the Easterly line of said Lot 16 a distance of 269.09 feet to the Southeast corner of said Lot 16; thence South 87 degrees 56 minutes 02 seconds West along the South line of said Lot 16 a distance of 181.19 feet to a point; thence North 02 degrees 03 minutes 58 seconds West a distance of 81.07 feet to a point; thence North 41 degrees 58 minutes 12 seconds East a distance of 261.54 feet to the Point of Beginning.

Leawood Development Ordinance - MXD Zoning - Bulk Regulations:

	Required	Proposed
Front Yard Bldg. Setback:	40 feet	45.5 feet
Front Parking Setback:	25 feet	0 feet
Side Yard Bldg. Setback:	40 feet	61.65 feet
Side Yard Parking Setback:	25 feet	0 feet
Interior Building Setback:	10 feet	10.7 feet
Interior Parking Setback:	10 feet	0 feet
Rear Yard Building Setback:	40 feet	144.3 feet
Rear Yard Parking Setback:	25 feet	0 feet
Building Setback to Residential (R1)	75 feet	580± feet
District Size:	10 Acres, min.	N/A
Floor Area Ratio:	0.25 max.	0.17
Use Percentages:	Residential: 20% min. Retail Use: 10% min. Office Use: 20% min.	
Open Space:	30%	30.08%
Interior Open Space	8%	12.56%
Height Limit:	90 feet	



- GENERAL NOTES**
- PAVER WILL BE RATED FOR ROADWAY TRAFFIC.
 - PAVERS SHALL BE PAVESTONE AS MANUFACTURED BY PAVESTONE COMPANY, KANSAS CITY AREA PLANT, OR APPROVED EQUAL. THE STYLE AND COLOR OF THE PAVERS SHALL BE HOLLAND STONE PAVER, HERRINGBONE PATTERN & ANTIQUE RED COLOR WITH SINGLE SOLDIER OUTSIDE BORDER.
 - PAVER BASE AND EDGE RESTRAINT SHALL BE KDOT CLASS A (AE) CONCRETE. BASE SLAB AND EDGE RESTRAINT SHALL BE POURED MONOLITHIC.
 - PAVERS, LEVELING SAND, AND CONCRETE BASE DEPTH, TYPICAL ALL PAVEMENT AREAS.
 - EXPANSION JOINT MATERIAL WILL BE PLACED AT ALL JOINTS BETWEEN NEW CONCRETE AND EXISTING CONCRETE.
 - INSTALL UNDERDRAIN ON EACH END OF PAVEMENT SIDEWALK CLOSE TO CURBS AND CONNECT TO UNDERDRAIN SYSTEM.



PEDESTRIAN PAVEMENT CROSSING DETAILS

INVERTED "U" - BIKE RACK DETAIL

LOT 16 PARKWAY PLAZA - PEDESTRIAN CIRCULATION PLAN

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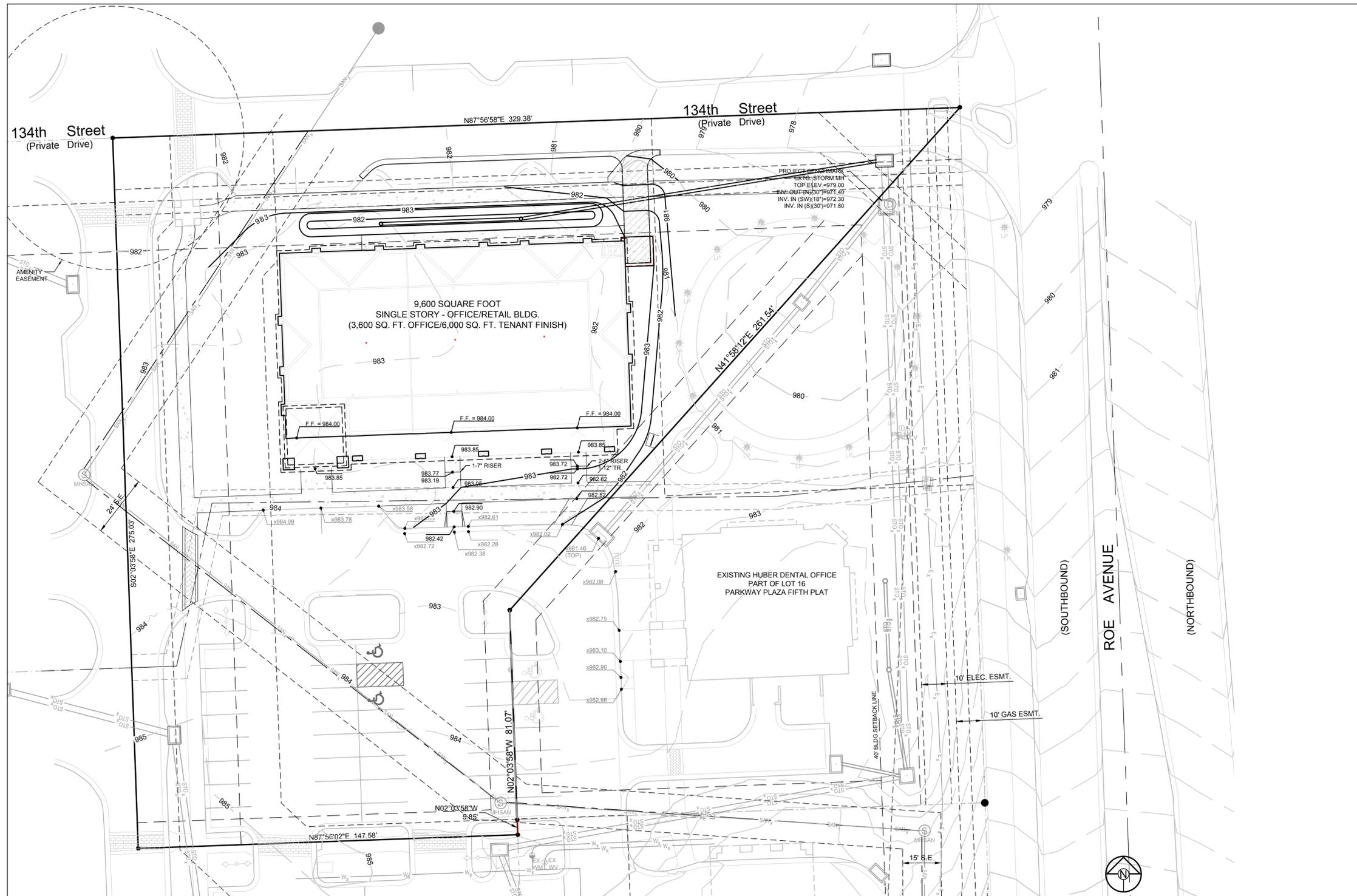
**ADVANCED COSMETIC SURGERY
 FINAL DEVELOPMENT PLAN
 LOT 16, PARKWAY PLAZA FIFTH PLAT
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
04-04-2019	City Planning Staff Review
4-16-2019	Revised site rack location

DRAWN BY: JTS
 CHECKED BY: DF
 DATE PREPARED: 02-18-2019
 PROJ. NUMBER: 18-040

SITE PLAN

SHEET **C1.0**
 OF -



GRADING LEGEND:

- EXTG. SPOT ELEVATION
- PROPOSED TOP OF CURB ELEV.
- OR LIP OF CURB OR SPOT ELEVATION
- F.F.E. FINISHED FLOOR ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR

* - ALL SIDEWALKS TO BE INSTALLED WITH A 2.0% MAXIMUM CROSS SLOPE.

GENERAL GRADING/EARTHWORK NOTES:

1. All earthwork shall conform to the Geotechnical Report prepared for this specific project. It is recommended that a Geotechnical Engineer observe and document all earthwork activities.
2. Contours have been shown at 1-foot or 2-foot intervals, as indicated. Grading shall consist of completing the earthwork required to bring the physical ground elevations of the existing site to the finished grade (or sub-grade) elevations provided on the plans as spot grades, contours or others means as indicated on the plans.
3. The existing site topography depicted on the plans by contouring has been established by field verified prepared by Schlagel and Associates, P.A. The contour elevations provided may not be exact ground elevations, but rather interpretations of such. Accuracy shall be considered to be such that not more than 10 percent of spot elevation checks shall be in error by more than one-half the contour interval provided, as defined by the National Map Accuracy Standards. Any quantities provided for earthwork volumes are established using this topography contour accuracy, and therefore the inherent accuracy of any earthwork quantity is assumed from the topography accuracy.
4. Proposed contours are to approximate finished grade.
5. Unless otherwise noted, payment for earthwork shall include backfilling of the curb and gutter, sidewalk and further manipulation of utility trench spoils. The site shall be left in a mowable condition and positive drainage maintained throughout.
6. Unless otherwise noted, all earthwork is considered Unclassified. No additional compensation will be provided for rock or shale excavation, unless specifically stated otherwise.
7. Prior to earthwork activities, pre-disturbance erosion and sediment control devices shall be in place per the Storm Water Pollution Prevention plan and/or the Erosion and Sediment Control Plan prepared for this site.
8. All topsoil shall be stripped from all areas to be graded and stockpiled adjacent to the site at an area specified by the project owner or his appointed representative. Vegetation, trash, trees, brush, tree roots and limbs, rock fragments greater than 6-inches and other deleterious materials shall be removed and properly disposed of offsite or as directed by the owner or his appointed representative.
9. Unless otherwise specified in the Geotechnical Report, all fills shall be placed in maximum 6-inch lifts and compacted to 95-percent of maximum density as defined using a modified proctor test.
10. Subgrade for pavements shall be proof-rolled prior to paving operations utilizing a fully loaded tandem axle dump truck. All areas exhibiting excessive pumping and heaving shall be removed, filled and compacted with suitable materials and retested until acceptable results are achieved and final approval has been obtained from the Geotechnical Engineer.
11. Subgrade for building pads shall include a minimum of 18-inches of Low Volume Change (LVC) material, or as identified in the site specific Geotechnical Report.
12. Fill materials shall be per Geotechnical Report and shall not include organic matter, debris or topsoil. All fills placed on slopes greater than 6:1 shall be benched.
13. The Contractor shall be responsible for redistributing the topsoil over proposed turf and landscaped areas to a minimum depth of 6-inches below final grade. All areas shall be graded for positive drainage. Unless noted otherwise the following grades shall apply:
 - a. Turf Areas - 2.5% Minimum, 4H:1V Maximum
 - b. Paved Areas - 1.2% Minimum, 5% Maximum
14. A.D.A. parking stalls shall not be sloped greater than 2% in any direction and constructed per A.D.A. requirements.
15. All disturbed areas shall be fertilized, seeded and mulched immediately after earthwork activities have ceased. Seeding shall be per the Erosion and Sediment Control Plan and/or Landscape Plan. If not specified seeding shall be per APWA Section 2400, latest edition. Unless otherwise noted, seeding shall be subsidiary to the contract price for earthwork and grading activities.
16. All disturbed areas in the right-of-way shall be sodded, per city requirements.
17. Underdrains are recommended for all paved areas adjacent to irrigated turf and landscaped beds.
18. Contractor shall adhere to the reporting requirements outlined in the Storm Water Pollution Prevention Plan (SWPPP) prepared for this project. Erosion and Sediment control devices shall be properly maintained and kept clean of silt and debris and in good working order. Additional erosion and sediment control measures shall be installed as required.

PAVEMENT LEGEND:

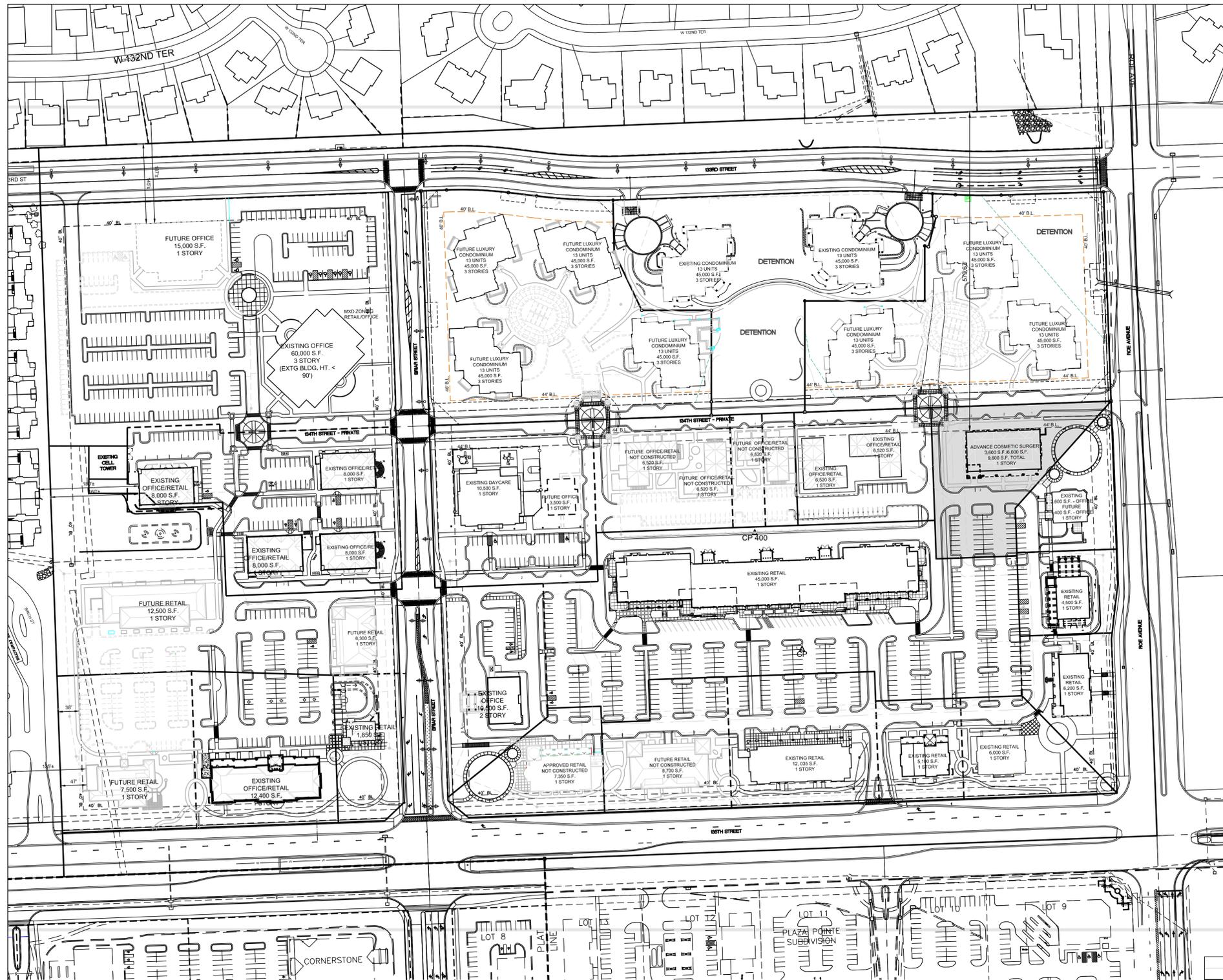
- ASPHALT PAVEMENT
- 4" CONCRETE SIDEWALK
- 8" CONCRETE DRIVE
- EXISTING CURB & GUTTER
- TYPE "B" CURB & GUTTER
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- 24" WIDE, CONC. RIBBON CURB

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**ADVANCED COSMETIC SURGERY
 FINAL DEVELOPMENT PLAN
 LOT 16, PARKWAY PLAZA FIFTH PLAT
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
04-04-2019	City Planning Staff Review
4-16-2019	Revised bike rack location

DRAWN BY:	JTS
CHECKED BY:	DF
DATE PREPARED:	02-18-2019
PROJ. NUMBER:	19-040



Total Land Area = 60 Acres (2,613,600 s.f.)
 Office Retail Land Area = 30.60 Acres
 Residential Land Area = 11.38 Acres
 Existing Office/Retail Floor Area = 141,725 s.f.
 Future Office/Retail Floor Area = 161,910 s.f.
 Kiddie Kollege Floor Area = 10,500 s.f.
 Total Office/Retail Floor Area = 303,635 s.f.
 Total Residential Floor Area = 308,646 s.f.
 Total Floor Area = 622,781 s.f.
 Number of Dwelling Units = 117
 F.A.R. = .238
 Retail/Office Percentage 48.75%
 Residential 49.56%

Parking Required = 911 stalls (min.)
 1063 stalls (max.)

Parking Provided = 979 spaces

Parking Required @ 3.0 Stalls/1,000 Sq. Ft. = 911 stalls

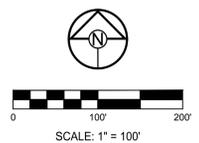
Parking Required @ 3.5 Stalls/1,000 Sq. Ft. = 1063 stalls

Current Parking Ratio with 979 Stalls = 3.22 stalls/1,000 sq. ft.

Leewood Development Ordinance
 MXD Zoning - Bulk Regulations:

	Required	Provided
Front Yard Bldg. Setback:	40 feet	40 ft.
Front Parking Setback:	25 feet	40 ft.
Side Yard Bldg. Setback:	40 feet	47 ft
Side Yard Parking Setback:	25 feet	38 ft
Interior Building Setback:	10 feet	10' min
Interior Parking Setback:	10 feet	Dev. Granted
Rear Yard Building Setback:	40 feet	N/A
Rear Yard Parking Setback:	25 feet	N/A
Bldg. Setback from Residential	75 feet	160 ft.
District Size:	10 Acres, min.	60 Ac.
Floor Area Ratio:	0.25 max.	0.238
Use Percentages:		
Residential:	20% min.	See Table
Retail Use:	10% min.	See Table
Office Use:	20% min.	See Table
Open Space:	30%	West - 50% East - 30%
Height Limit:	90 feet	Demdaco = 56'

Building/Lot Description	Retail Area	Office Area	Residential Area	Misc. Area	Total
Condominium/Multi Family			308,646		308646
Demdaco Office		75,000			75000
Northwest Office Pod		32,000			32000
Future Retail Bldg - West Central	12,500				12500
Future Retail Bldg- Southwest Corner	7,500				7500
Reece-Nichols Bldg		12,400			12400
Starbucks	1,850				1850
Future Retail (N. of Starbucks)	6,300				6300
Kiddie Kollege			10,500		10500
Future Kiddie Kollege Bldg		3,500			3500
Country Club Bank		10,500			10500
Future Retail (NE 135th/Briar)	7,350				7350
Future Retail (W. of SwimQuick)	8,700				8700
SwimQuick Retail Bldg	12,035				12035
Romanelli Optix	5,100				5100
Future Retail (E. of Romanelli)	6,000				6000
Extg. Dental Office (NW 135th/Roe)		6,200			6200
Tide Cleaners	4,500				4500
Huber Dental Office		5,000			5000
Future Retail (SW 134th/Roe)	6,000	3,600			9600
5 Bldg Office Condo's (N. of Main Bldg.)		32,600			32600
Main - Centrally Located Retail Bldg.	45,000				45000
Total	122835	180800	308646	10500	622781
% of Total Square Footage	19.72%	29.03%	49.56%	1.69%	100.00%



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**ADVANCED COSMETIC SURGERY
 FINAL DEVELOPMENT PLAN**

**LOT 16, PARKWAY PLAZA FIFTH PLAT
 LEAWOOD, KANSAS**

REVISION DATE: 04-04-2019 City Planning Staff Review
 4-16-2019 Revised site rack location

DRAWN BY: JTS
 CHECKED BY: DF
 DATE PREPARED: 02-18-2019
 PROJ. NUMBER: 18-040

**PARKWAY PLAZA
 OVERALL
 MASTER PLAN**

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 OF -



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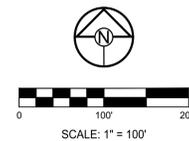
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THE VILLAGIO
 AT LEAWOOD

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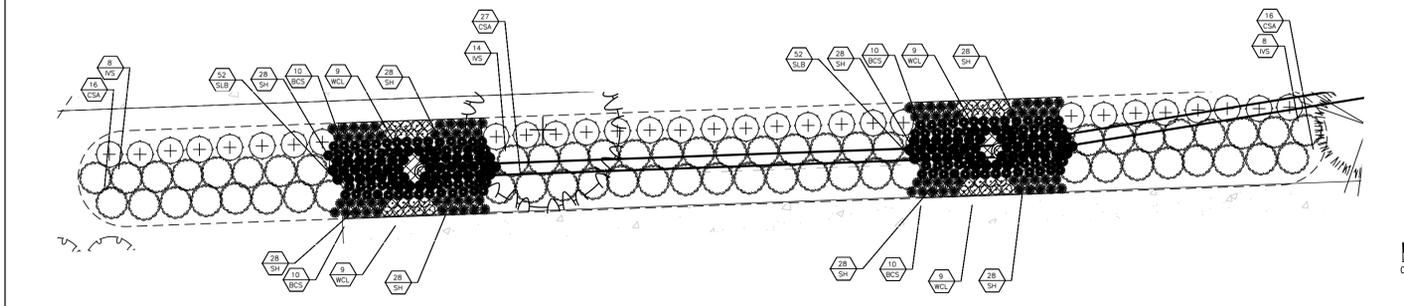
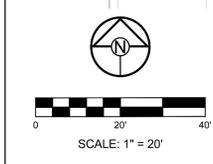
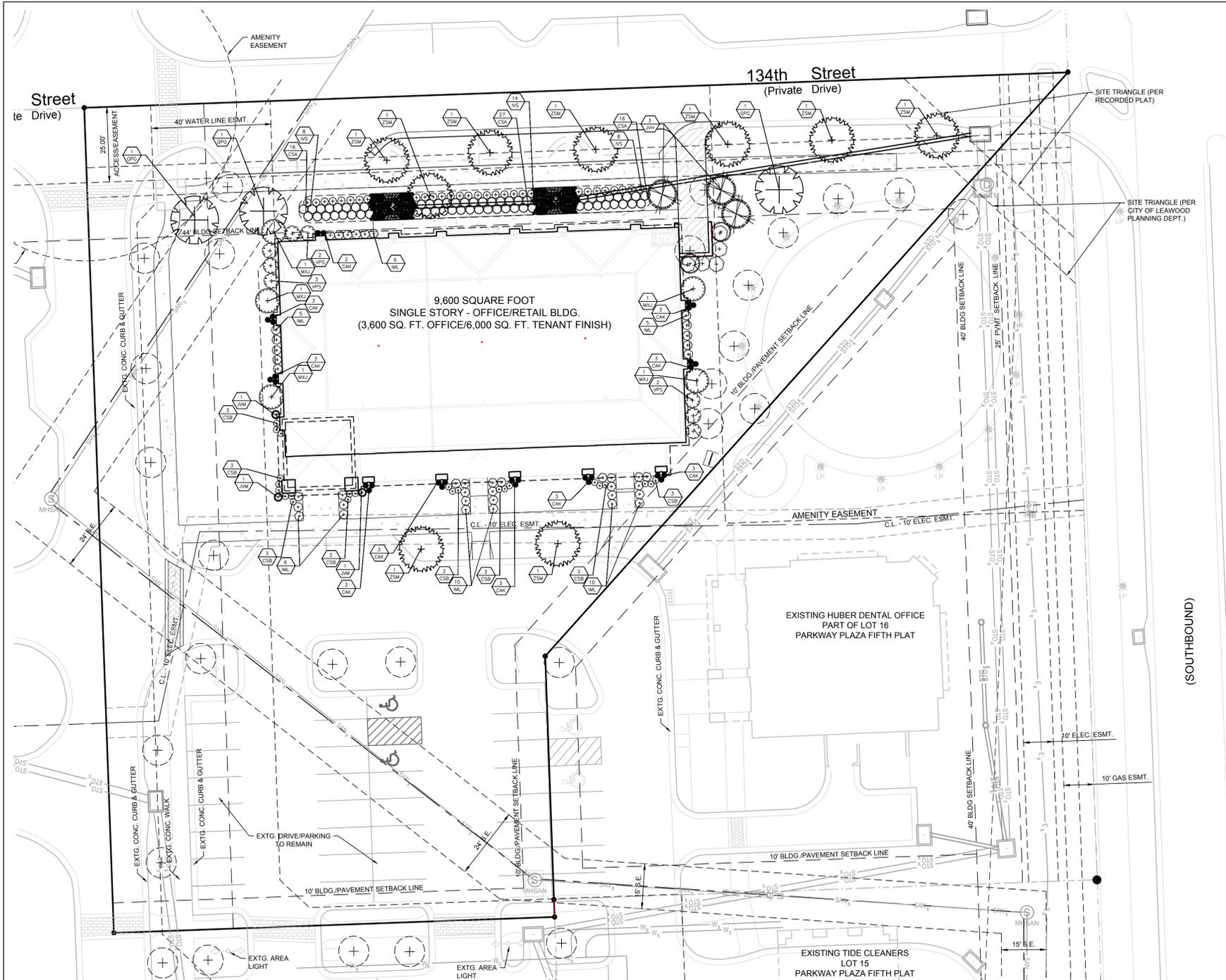
**ADVANCED COSMETIC SURGERY
 FINAL DEVELOPMENT PLAN
 LOT 16, PARKWAY PLAZA FIFTH PLAT
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
04-04-2019	City Planning Staff Review
4-16-2019	Revised site rack location

DRAWN BY: JTS
 CHECKED BY: DF
 DATE PREPARED: 02-18-2019
 PROJ. NUMBER: 18-040

**PARKWAY PLAN
 OVERALL AERIAL
 MAP**

SHEET
C5.0
 OF -



LANDSCAPE CALCULATIONS:

PERIMETER LANDSCAPE ADJACENT TO STREETS(16-4-7-B-1) 134TH STREET: Street Trees Required(297' of frontage x 1 tree/35') = Street Trees Provided	9 trees 9 trees
INTERIOR LANDSCAPE(16-4-7-D) Parking Lot Trees Required (1 per 10 spaces 38/10)= Parking Lot Trees Provided Open Space Trees Required (1 per 3,000 s.f. of open space 16,834/3000)= Open Space Trees Provided	4 trees 6 existing trees 6 trees 7 existing trees

SHADE TREES				
QPG	3 EA.	Quercus palustris Green Pillar	Green Pillar Oak	2.5" Cal.
ZSM	9 EA.	Zelkova serrata 'Musashino'	Musashino Columnar Zelkova	2.5" Cal.
EXISTING TREE				
ORNAMENTAL TREES				
MXJ	5 EA.	Magnolia x 'Jane'	Jane Magnolia	8' ht.
NOTE: MAGNOLIA NOT INCLUDED IN TREE QUANTITY FOR TREES REQUIRED BY CODE				
EVERGREEN TREES				
JVH	3 EA.	Juniperus virginiana Hillspire	Hillspire Juniper	8' ht.
JVM	3 EA.	Juniperus virginiana 'Monbell'	Prairie Pillar Juniper	5' ht.
SHRUBS				
BSW	8 EA.	Buxus sinica var. insularis 'Wintergreen' fka a microphylla var.	Wintergreen Boxwood	*24 INCH HT.
CSB	24 EA.	Caryopteris clandonensis Sunshine Blue	Sunshine Blue Spirea	*24 INCH HT.
CSA	59 EA.	Cornus sericea 'Farrow'	Arctic Fire Red Twig Dogwood	*24 INCH HT.
IME	10 EA.	Ilex meserveae 'Emerald Magic' Plant Patent #12,314	Emerald Magic Holly	*24 INCH HT.
IML	44 EA.	Ilex x 'Mondo' (Male)	Little Rascal® Holly	*24 INCH HT.
IVS	30 EA.	Itea virginica 'Sprich' P.P. #10,988	Little Henry Sweetspire	*24 INCH HT.
SXP	5 EA.	Syringa x 'Penda'	Bloomerang Lilac	*24 INCH HT.
VPS	9 EA.	Viburnum plicatum tomentosum 'Summer Snowflake'	Summer Snowflake Viburnum	*24 INCH HT.
GRASSES				
BCS	80 EA.	Bouteloua curtipendula	Sideoats grama	
CAK	41 EA.	Calamagrostis x acutifolia 'Karl Foerster'	Karl Foerster Grass	*24 INCH HT.
SLB	108 EA.	Schizachyrium 'The Blues'	Little Bluestem	
SH	104 EA.	Sporobolus heterolepis	Prairie Dropseed	
WILDFLOWER				
WCL	36 EA.	Coreopsis lanceolata	Lanceleaf Coreopsis	1 gal.

*ALL SHRUBS SHALL HAVE A HEIGHT OF 24 INCHES WHEN MEASURED IMMEDIATELY AFTER PLANTING EXCEPT THE WEIGELA. SHRUBS LESS THAN 24 INCHES IN HEIGHT WILL NOT BE ACCEPTED. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN THE PLANT MATERIAL THAT HAS NOT BEEN SHEERED. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN THE PLANT MATERIAL EARLY AND ALLOW THEM TO GROW UNTRIMMED IN ORDER TO ENSURE THE PLANTS ARE AT LEAST 24 INCHES IN HEIGHT AT THE TIME OF PLANTING.

	BIORETENTION PONDING AREA PLUGS 328 PLUGS SPACED AT 1' O.C. SEE PLANT LIST FOR ESTIMATED QTY.
Common Name	Botanical name
Bouteloua curtipendula	Sideoats Grama
Schizachyrium scoparium	Little Bluestem
Sporobolus heterolepis	Prairie Dropseed
Coreopsis lanceolata	Lanceleaf Coreopsis

NOTE: RAIN GARDEN PLANT SPECIES REQUIRED BY THE CITY OF LEAWOOD PLANNING STAFF AND CANNOT BE SUBSTITUTED WITHOUT APPROVAL OF THE CITY STAFF. SCHLAGEL AND ASSOCIATES DID NOT RECOMMEND THESE SPECIES FOR THE RAIN GARDEN.

LEAWOOD GENERAL LANDSCAPE NOTES:

- The quality of plant materials used shall conform to the highest standards of the nursery industry. Grass sod shall be clean and reasonably free of weeds and noxious pests or diseases. Per UDO Section 16-4-7.6.B.1.
- Shade trees shall be species having an average mature spread of crown of greater than 15 feet. Trees, having an average mature spread of crown less than 15 feet may be substituted by grouping the same so as to create the equivalent of a 15 foot crown spread. Tree species shall be a minimum 2 1/2" caliper measured 6 inches above the ground level, immediately after planting. Tree species whose roots are known to cause damage to public roadways or other public works shall not be planted closer than 12 feet to such right of way, unless the tree root system is completely contained within an approved root barrier. A list of such tree species and approved standard root barrier construction details shall be maintained by the Community Development Department. Per UDO Section 16-4-7.6.B.2.
- Shrubs shall be a minimum of 24 inches in height when measured immediately after planting. Hedges, where required, shall be planted and maintained so as to form a continuous, unbroken, solid, visual screen within a maximum of 2 growing seasons after time of planting per UDO Section 16-4-7.6.B.3.
- All shrubs to be utilized for screening shall be 36" height at time of planting.
- Ground covers used in lieu of grass in whole or in part shall be planted in such a manner as to present a finished appearance at the time of installation, and complete coverage within 2 years after planting per UDO Section 16-4-7.6.B.4.
- Grass sod shall be planted in species normally grown as permanent lawns in our native climate in all areas disturbed for the construction of this project. Grass areas shall be sodded unless the use of seed is specifically authorized by the Governing Body after recommendation of the Planning Commission. per UDO Section 16-4-7.6.B.5.
- Location of utility equipment is under design and has not been finalized. All plants to be utilized for screening of utility meters, cabinets, transformers, etc. shall be at least as tall as the utility it is to screen at the time of planting regardless of the size indicated in the plant table above. The landscape contractor shall include the plants as required to screen the utility equipment in their bid regardless of the size shown on this plan.
- All landscape areas to be irrigated per UDO Section 16-4-7.3.7. This includes all turf, shrub, and native grass areas.
- Sodding for turf and seeding for native grass approved by the Governing Body after recommendation of the Planning Commission shall provide soil stabilization and complete coverage within the first growing season per UDO Section 16-4-7.3.5.
- Installation and maintenance of landscaping shall comply with City of Leawood standards.
- All above ground utilities structures shall be screened.
- All plant material shall comply with City of Leawood standards.
- Roe Avenue street trees were installed as part of the benefit district.
- All islands shall be landscaped with at least 60% living material per UDO Section 16-4-7.3.6.
- Buffering adjacent to buildings shall be a minimum of 10 feet deep.
- All trees shall be callipered and undersized trees shall be rejected. Tree caliper shall be measured 6 inches above ground.
- Any change to the approved landscape plan shall require written approval of both the landscape architect and the City of Leawood.
- All shrubs shall be contained within a bed that has 3" min. wood mulch and edged with steel edging.
- All trees shall have a min. 3" dia. area that has 3" min. wood mulch.
- After complete installation of all plant material and sod the Landscape Architect shall inspect the site. When the landscape installation meets the approved plan the landscape architect shall provide a signed and sealed letter to the City stating that all landscape plantings have been installed per the approved plan.
- Any trees or shrubs located within the sanitary sewer easement may be removed without replacement or compensation thereof, in the event of the excavation of the sanitary sewer main.
- All landscaping shall be installed in a sound workmanlike manner and according to accepted good planting procedures. Landscaped areas shall require protection from vehicular encroachment. A code enforcement officer, building inspector or other planning official shall inspect all landscaping and no certificates of occupancy or similar authorization will be issued unless the landscaping meets the requirements herein provided. Temporary occupancy permits may be issued due to weather related conditions upon approval by the Building Official and the Director of Community Development.
- The owner, developer, tenant and/or their agents, if any, shall be jointly and individually responsible to maintain the landscaping in its proper condition. When replacement is necessary all plants and other non-living landscape materials shall be equal in size, density and appearance to those items requiring replacement. If plant material is reasonably unable to be replaced the Planning Director shall review and approve an equivalent replacement. Underground sprinkler systems shall be provided to serve all landscaped areas unless an equivalent watering system is approved by the Governing Body after recommendation of the Planning Commission.
- All landscaping materials depicted on landscaping plans approved by the City shall be considered to be elements of the project in the same manner as parking, building materials and other details. The developer, its successor and/or subsequent owners and their agents shall be responsible for maintenance of landscaping on the property on a continuing basis for the life of the development. Plant materials which exhibit evidence of insect pests, disease or damage shall be appropriately treated, and dead plants promptly removed and replaced within the next planting season after installation. All landscaping will be subject to periodic inspection by the City. Should landscaping not be installed, maintained and replaced as needed to comply with the approved plan, the owner and its agent or agents shall be considered to be in violation of the terms of the Certificate of Occupancy. Lawn grass shall be maintained on all areas not covered by other landscaping, parking, drives, buildings, or similar structures. Existing yards shall be maintained with grass or other approved ground cover.
- All grasses within the rain garden shall be planted in drift groups creating continuous swaths of single grass types.

SCHLAGEL & ASSOCIATES, P.A.
 Engineers • Planners • Surveyors • Landscape Architects
 14920 West 107th Street • Lenexa, Kansas 66215
 (913) 492-5158 • Fax: (913) 492-8400
 WWW.SCHLAGELASSOCIATES.COM
 Kansas State Certificates of Authority
 #E-296 #L.A-29 #L.S-54

DANIEL G. FOSTER
 LICENSED
 LANDSCAPE ARCHITECT
 523
 04-03-12
 KANSAS

Daniel G. Foster
 Landscape Architect
 KS# 523

**ADVANCED COSMETIC SURGERY
 FINAL DEVELOPMENT PLAN**

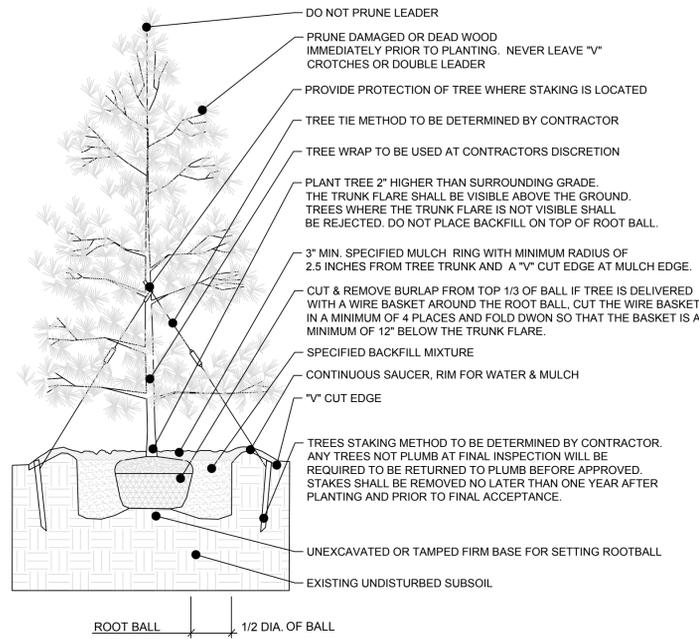
**LOT 16, PARKWAY PLAZA FIFTH PLAT
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
04-04-2019	City Planning Staff Review
4-16-2019	Revised site rack location

DRAWN BY: JTS
 CHECKED BY: DF
 DATE PREPARED: 02-18-2019
 PROJ. NUMBER: 18-040

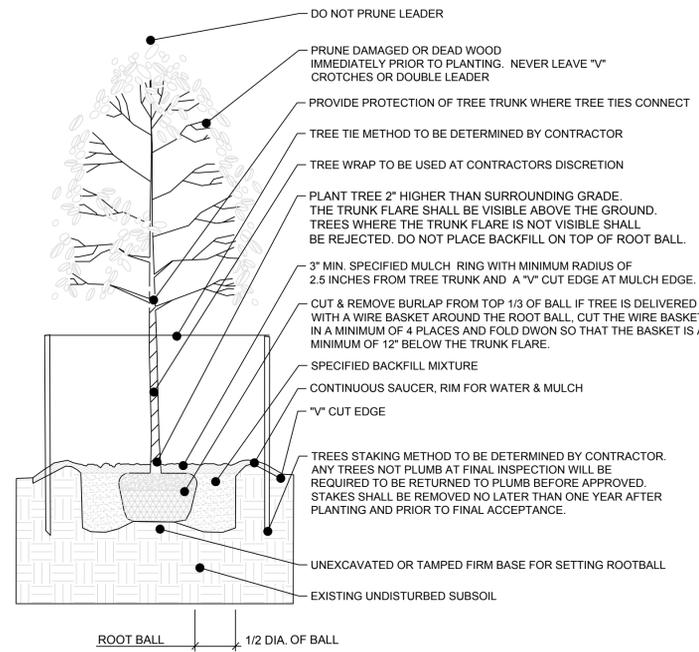
LANDSCAPE PLAN

SHEET
L1.0
 OF -



TYP. EVERGREEN PLANTING & GUYING

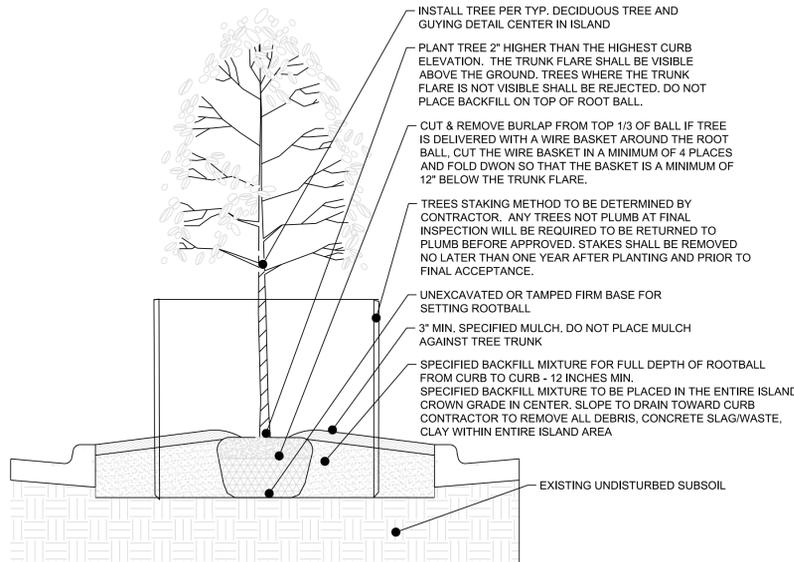
NO SCALE



TYP. DECIDUOUS PLANTING & GUYING

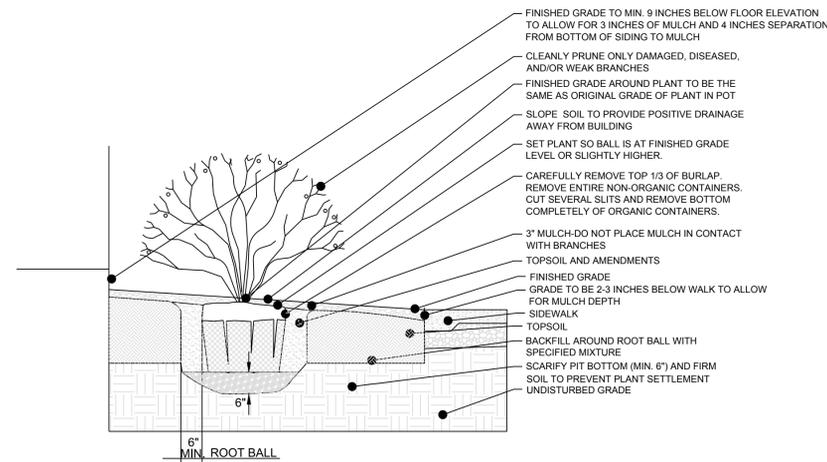
NO SCALE

- All trees shall comply with State and Federal regulations. Trees should be obtained from local sources but must meet the quality guidelines herein. Trees transported from out of the region shall meet all State and Federal regulations and be certified to be disease and insect free.
- Provide healthy stock, grown in a nursery and reasonably free of die-back, disease, insects, eggs, bores, and larvae. At the time of planting all plants shall have a root system, stem, and branch form that will restrict normal growth, stability and health for the expected life of the plant.
- All trees shall be nursery-grown.
- Plants shall be healthy with the color, shape, size and distribution of trunk, stems, branches, buds and leaves normal to the plant type specified. Tree quality above the soil line shall comply with the following:
 - Crown: The form and density of the crown shall be typical for a young specimen of the species or cultivar pruned to a central and dominant leader.
 - Crown specifications do not apply to plants that have been specifically trained in the nursery as topiary, espalier, multi-stem, clump, or unique selections such as contorted or weeping cultivars.
 - Leaves: The size, color, and appearance of leaves shall be typical for the time of year and stage of growth of the species or cultivar. Trees shall not show signs of prolonged moisture stress or over watering as indicated by wilted, shriveled, or dead leaves.
 - Branches: Shoot growth (length and diameter) throughout the crown should be appropriate for the age and size of the species or cultivar. Trees shall not have dead, diseased, broken, distorted, or otherwise injured branches.
 - Main branches shall be distributed along the central leader not clustered together. Potential main branches shall be evenly spaced and have appropriate space between them. They shall form a balanced crown appropriate for the cultivar/species.
 - Branch diameter shall be no larger than two-thirds (one-half is preferred) the diameter of the central leader measured 1 inch above the branch union.
 - The attachment of the largest branches (scaffold branches) shall be free of included bark.
 - Branches shall be distributed radially around and vertically along the trunk, forming a generally symmetrical crown typical for the species.
 - The attachment of scaffold branches shall be free of included bark.
- Branch structure: The better quality, large-maturing shade trees (lower extreme left) have all branches less than about two-thirds the trunk diameter. Poor quality shade trees (lower left center) have larger upright branches. Trees such as crape myrtle and other small-maturing trees can have several trunks. Trees with extensive defects in branches such as cracks and included bark (lower right) represent lesser quality than trees free of these potential problems. Included bark can be seen between the two arrows below. Branches with bark inclusions are weakly attached to the tree and can split easily.
- Evergreen branch structure: The branch pattern should be dense, symmetrical and the branch stems should be evenly spaced completely around the trunk. The branches shall extend to within 12 inches of the ground and be along the full length of the trunk. Trees which are not symmetrical or that have an "open area" will be rejected. For structural integrity on evergreen trees, all side branches should be less than half the diameter of the adjacent trunk (less than one-third is preferred).
- Trunk: The tree trunk shall be relatively straight, vertical, and free of wounds that penetrate to the wood (properly made pruning cuts, closed or not, are acceptable and are not considered wounds), sunburned areas, conks (fungal fruiting bodies), wood cracks, sap leakage, signs of boring insects, galls, cankers, girdling ties, or lesions (mechanical injury).
- Evergreen tree trunk: Evergreen trees shall have a single trunk that is straight, vertical, and free of wounds that penetrate to the wood (properly made pruning cuts, closed or not, are acceptable and are not considered wounds), sunburned areas, conks (fungal fruiting bodies), wood cracks, sap leakage, signs of boring insects, galls, cankers, girdling ties, or lesions (mechanical injury).
- Codominant trunks (trunks of similar size) will not be accepted.
- Temporary branches, unless otherwise specified, can be present along the lower trunk below the lowest main (scaffold) branch, particularly for trees less than 1 inch in caliper. These branches should be no greater than 3/8-inch diameter. Clear trunk should be no more than 40% of the total height of the tree.
- Central Leader: **Trees shall have a single(one), relatively straight central leader** and tapered trunk, free of co-dominant stems and vigorous, upright branches that compete with the central leader. Preferably, the central leader should not have been headed. However, in cases where the original leader has been removed, an upright branch at least 1/2 (one-half) the diameter of the original leader just below the pruning point shall be present. All trees are assumed to have one central leader trees unless a different form is specified in the plant list or drawings. If the central leader is broken or damaged during delivery or installation the tree shall be rejected and removed from the site. If the central leader dies within the warranty period the tree shall be replaced at the end of the warranty period.
- All graft unions, where applicable, shall be completely closed without visible sign of graft rejection. All grafts shall be visible above the soil line.
- Trunk caliper and taper shall be sufficient so that the lower five feet of the trunk remains vertical without a stake. Auxiliary stake may be used to maintain a straight leader in the upper half of the tree.
- Plant roots shall be normal to the plant type specified. Root observations shall take place without impacting tree health. Root quality at or below the soil line shall comply with the project Root Acceptance details and the following:
 - The roots shall be reasonably free of scrapes, broken or split wood.
 - The root system shall be reasonably free of injury from biotic (e.g., insects and pathogens) and abiotic (e.g., herbicide toxicity and salt injury) agents. Wounds resulting from root pruning used to produce a high quality root system are not considered injuries.
 - A minimum of three structural roots reasonably distributed around the trunk (not clustered on one side) shall be found in each plant. Root distribution shall be uniform throughout the root ball, and growth shall be appropriate for the species.
 - Plants with structural roots on only one side of the trunk (J roots) shall be rejected.
 - The root collar shall be within the upper 1 inch of the substrate/soil. Two structural roots shall reach the side of the root ball near the top surface of the root ball. The grower may request a modification to this requirement for species with roots that rapidly descend, provided that the grower removes all stem girdling roots above the structural roots across the top of the root ball. Any excess soil shall be removed from the root ball so that the root flare is visible as indicated in the "Planting Depth Detail". The root collar shall be visible above the mulch layer.
 - The root system shall be free of stem girdling roots over the root collar or kinked roots from nursery production practices.
 - Plant Grower Certification: The final plant grower shall be responsible to have determined that the plants have been root pruned at each step in the plant production process to remove stem girdling roots and kinked roots, or that the previous production system used practices that produce a root system throughout the root ball that meets these specifications. Regardless of the work of previous growers, the plant's root system shall be modified at the final production stage, if needed, to produce the required plant root quality. The final grower shall certify in writing that all plants are reasonably free of stem girdling and kinked roots as defined in this specification, and that the tree has been grown and harvested to produce a plant that meets these specifications.
 - At time of observations and delivery, the root ball shall be moist throughout. Roots shall not show signs of excess soil moisture conditions as indicated by stunted, discolored, distorted, or dead roots.



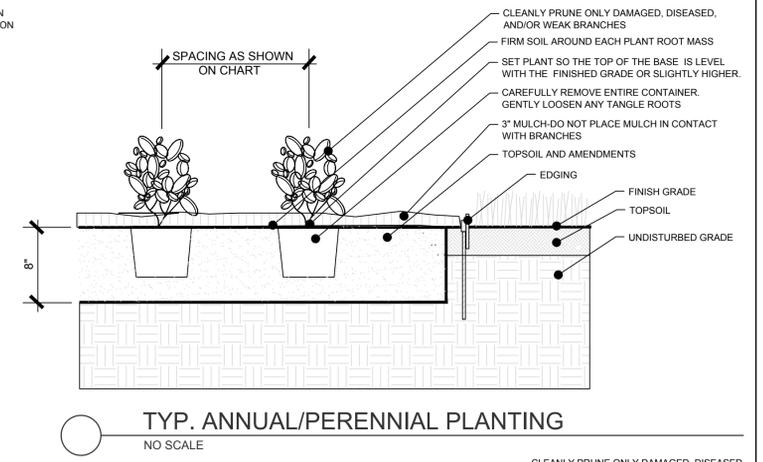
TYP. PARKING LOT ISLAND PLANTING

NO SCALE



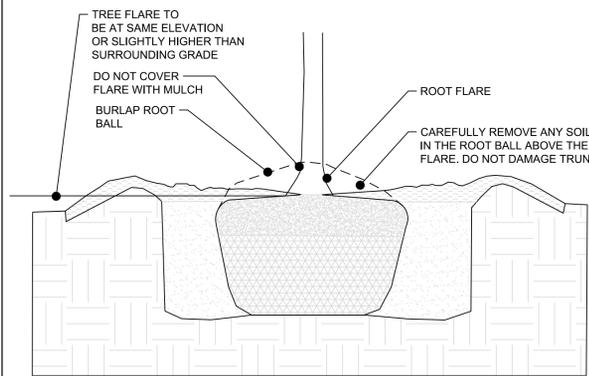
TYP. SHRUB PLANTING ADJACENT TO BUILDING

NO SCALE



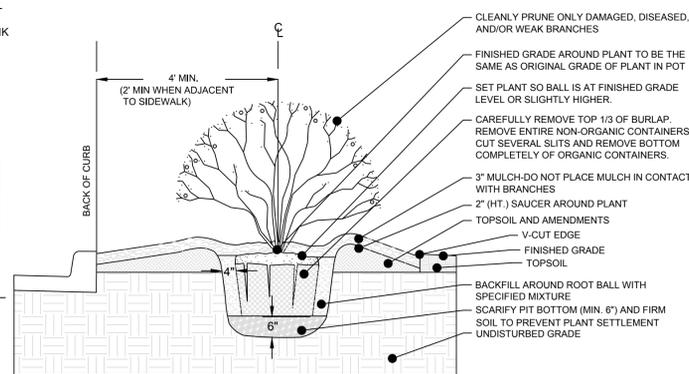
TYP. ANNUAL/PERENNIAL PLANTING

NO SCALE



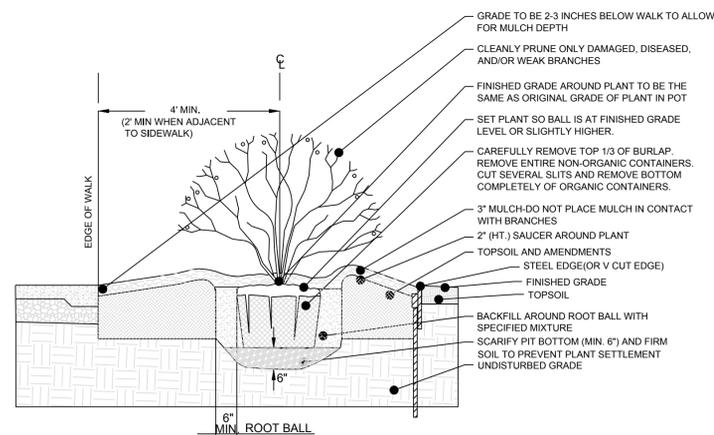
TYP. TREE PLANTING DEPTH

NO SCALE



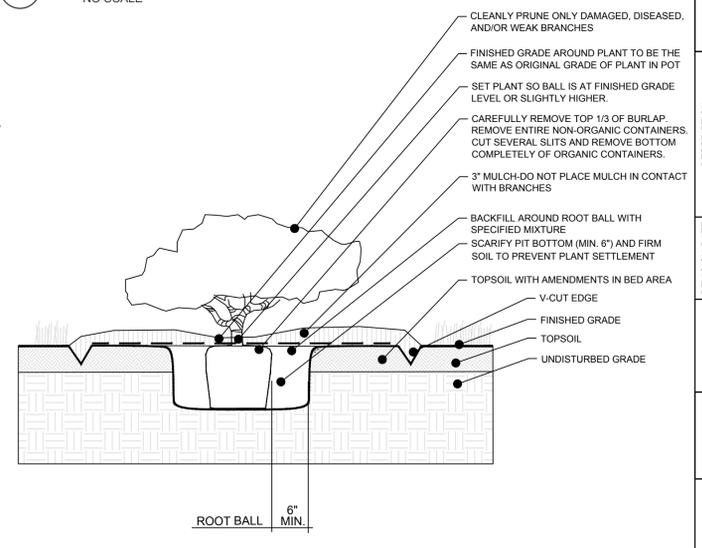
TYP. SHRUB PLANTING ADJACENT TO CURB

NO SCALE



TYP. SHRUB PLANTING ADJACENT TO WALK

NO SCALE



TYP. SHRUB BED IN LAWN DETAIL

NO SCALE

REVISION DATE	DESCRIPTION
04-04-2019	City Planning Staff Review
4-16-2019	Revised site rack location

RA 25" Era" Series International Design Luminaire

IKM LIGHTING
Type: **RA25**
Catalog number: **RA25**

Approvals:
Page: 1 of 6

Specifications:
RA25
25" Diameter
150 to 400 Watt

RA25
with optional
Glow Ring and
Convex Lens

Listings and Ratings:
 UL, cUL, ENEC, CE, FCC, RoHS, etc.
 U.S. Patent 0430,607
 © 2010 IKM LIGHTING INC. P.O. BOX 0080, CITY OF INDUSTRY, CA 91710-0080 • TEL: 650-988-5000 • FAX: 650-988-2895

LUMINAIRE SPECIFICATION

**IK10 - Suitable for Wet Locations
IK10 - Impact Resistant (Vandal Resistant)**

UTA-31781
Tango round wall down light LED

Wall luminaires with a variety of reflectors and lamps with up and down light distributions. Designed to illuminate the wall surface and for light accents on vertical surfaces.

Physical Data:
 Length: 10.25"
 Height: 10.62"
 Weight: 7.5 lbs

Options (Please Specify):
 1" Diffuser Lens
 C-Clear Lens
 1" Diffuser Lens
 C-Clear Lens

Color (Please Specify):
 1" Diffuser Lens
 C-Clear Lens

Ordering Example: UTA-31781-WH-30W-N-1050-120-1050

6" LED Open Downlight LF6LEDG4 120V-277V 0-10V Dimming

LifeTime
Callling Colour: 6500K
Maximum Ceiling Height: 14'
For conversion to wall/luminaire, multiply inches by 25.4
Not to Scale

APPICATIONS:
 The LF6LEDG4 is a 6" specification grade LED downlight that offers modern architectural lighting in clean, color rendering, energy saving, and low maintenance use. 50,000 hours lifetime life up to 30°C (86°F) in open air applications.

HOUSING:
 Designed to provide non-convex metal platform. The LF6LEDG4 will mount onto any ceiling. Simple conversion from down compartment allows easy installation of light fixture for recessed ceiling downlight applications.

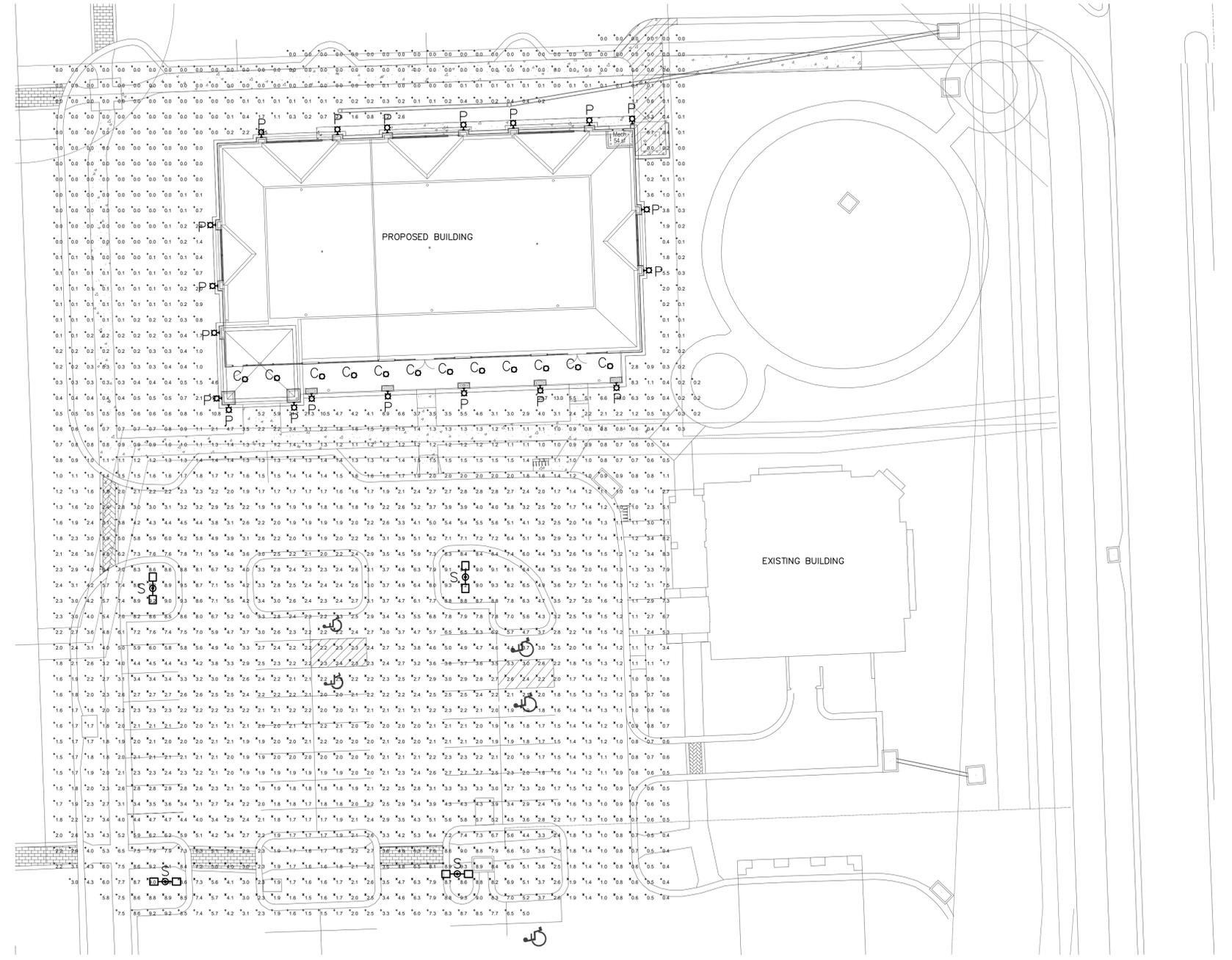
REFLECTOR:
 High quality aluminum, black, reflective, recessed, anti-glare reflector. Reflector is made from anodized aluminum. Reflector is made from anodized aluminum.

LED LIGHT ENGINE:
 The LF6LEDG4 uses the Philips Lumileds LED. The LF6LEDG4 uses the Philips Lumileds LED. The LF6LEDG4 uses the Philips Lumileds LED.

INSTALLATION:
 Refer to the Philips Lumileds LED Driver specification for installation details. The LF6LEDG4 uses the Philips Lumileds LED. The LF6LEDG4 uses the Philips Lumileds LED.

WARRANTY:
 5 year warranty. See www.prescolite.com for details.

EXAMPLE: LF6LEDG4-6500K-120V-277V-0-10V-DIMMING



LUMINAIRE SCHEDULE

Symbol	Label	Qty	Manufacturer	Model #	Lamp	Lumens	LLF	Watts
	S	4	Existing Kim Lighting	(2) RA 25" Era Series	(2) 400W MH EXISTING	Absolute	0.9	916
	P	20	Ligman Lighting	UTA-31781-30W-W-1050-120-F-06	30W LED 3000K 2075 LUM	Absolute	0.9	30
	C	12	Prescolite	LF6LEDG4-LF6LED54 25K-W-BT4	14W LED 3500K 1100 LUM	Absolute	0.9	14

STATISTICS

Description	Avg	Max	Min	Max/Min	Avg/Min
Parking	3.4	9.5	0.6	15.8	5.7



**ADVANCED COSMETIC SURGERY
 FINAL DEVELOPMENT PLAN
 LOT 16, PARKWAY PLAZA FIFTH PLAT
 LEAWOOD, KANSAS**

REVISION DATE	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	

**SITE
 PHOTOMETRIC
 PLAN**

SHEET

BC ENGINEERS INCORPORATED
 5720 Reeder Shawnee, Ks. 66203 (913)262-1722

SCALE: 1" = 20'

Search

WAVE BIKE RACKS



Upscale stylish look. Easy to secure your bike.

- 10-gauge galvanized steel or attractive powder coating.
- 2 3/8" diameter bar.
- For stadiums, parks and athletic fields.
- Bike rack mounting hardware included.

WAVE BIKE RACKS

Galvanized Black Green

MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAP.	WT. (LBS.)	PRICE EACH		ADD TO CART
					1	3+	
H-2892*	1-Loop	22 x 2 1/2 x 34"	3	27	\$190	\$180	Specify Color
■ H-2543	3-Loop	43 x 2 1/2 x 39"	5	56	360	340	Specify Color
■ H-2544	5-Loop	68 x 2 1/2 x 39"	7	80	450	430	Specify Color

* Galvanized and Black only

■ SHIPS VIA MOTOR FREIGHT

REPLACEMENT BIKE RACK MOUNTING HARDWARE

MODEL NO.	DESCRIPTION	FITS	PRICE EACH	ADD TO CART
H-2545	Replacement Mounting Hardware	H-2892 , H-2543 or H-2544	\$19	1 <input type="button" value="ADD"/>

SALISBURY COLLECTION

Salisbury™ 29" 1 Light Wall Light Rubbed Bronze™

9043RZ (Bronze)



Project Name: _____
Location: _____
Type: _____
Qty: _____
Comments: _____

Certifications/Qualifications

Location Rating	Wet
-----------------	-----

Dimensions

Base Backplate	8.75 X 14.5
Chain/Stem Length	0.00"
Weight	14.85 LBS
Extension	16.25"
Height from center of Wall opening (Spec Sheet)	14.25"
Height	29.00"
Width	12.00"

Mounting/Installation

Interior/Exterior	Exterior
Mounting Style	Wall Mount
Mounting Weight	12.85 LBS

Primary Lamping

Lamp Included	Not Included
Lamp Type	A21
Max or Nominal Watt	200W
# of Bulbs/LED Modules	1
Socket Type	Medium

Product/Ordering Information

Finish	Bronze
UPC	783927226301.00

Specifications

Diffuser Description	White Linen
----------------------	-------------

Kichler
7711 East Pleasant Valley Road Cleveland, Ohio 44131-8010
Toll free: 866.558.5706 or kichler.com

Notes:
1) Information provided is subject to change without notice.
All values are design or typical values when measured under laboratory conditions.
2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

KICHLER®

Catalog Number
Notes
Type

FEATURES & SPECIFICATIONS

INTENDED USE

Provides maintenance-free general illumination for outdoor use in residential and commercial applications such as retail, education, multi-unit housing and storage. Ideal for lighting building facades, parking areas, walkways, garages, loading areas and any other outdoor space requiring reliable security lighting.

CONSTRUCTION

Sturdy weather-resistant aluminum housing with a dark bronze finish.

High performance LEDs are powered by an MVOLT driver providing 3020 and 4300 delivered lumens at 5000K. 100,000 hours LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology. Fixture is maintenance-free.

Rated for outdoor installations -40°C minimum ambient.

Adjustable Dusk-to-Dawn, photocell standard automatically turns light on at dusk and off at dawn for convenience and energy savings.

Photocell can be disabled by rotating the photocell cover.

OPTICS

Nighttime Friendly™ full cutoff above 90° angle, standard.

INSTALLATION

Wall or arm mount (mounting arm sold separately).

All mounting hardware included.

LISTINGS

UL Certified to US safety standards. C-UL Certified to Canadian safety standards. Wet location listed.

Tested in accordance with IESNA LM-79 and LM-80 standards. DLC qualified product.

WARRANTY

5-year limited warranty. Complete warranty terms located at:

www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

NOTE: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications are subject to change without notice.

Outdoor General Purpose

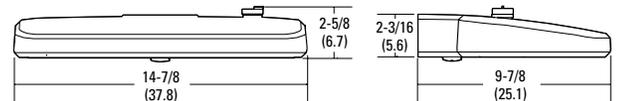
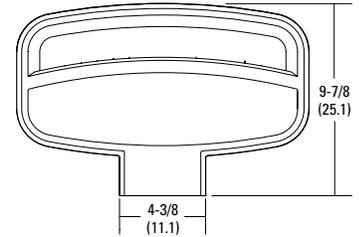
OLW

LED WALL PACK



Specifications

All dimensions are inches (centimeters)



ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: OLW 23

Series	Lumens / Color temperature (CCT)	Voltage	Features	Finish
OLW LED Wall Light	23 3,020 delivered lumens / 5000K ¹ 31 4,300 delivered lumens / 5000K ¹	(blank) MVOLT (120V-277V)	(blank) Photocell included	(blank) DDB Dark Bronze

Accessories: Order as separate catalog number.

OMA 18 DDB M6 18" Steel mounting arm

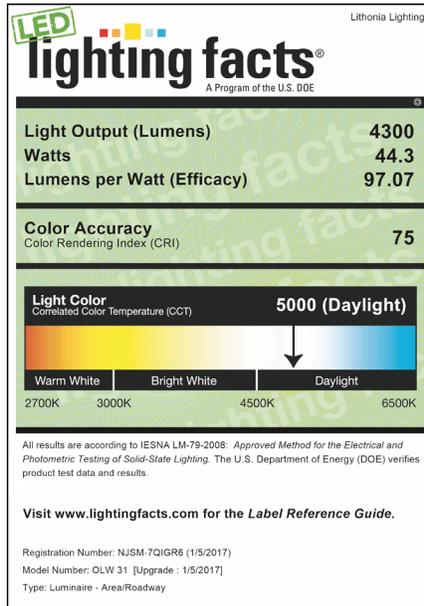
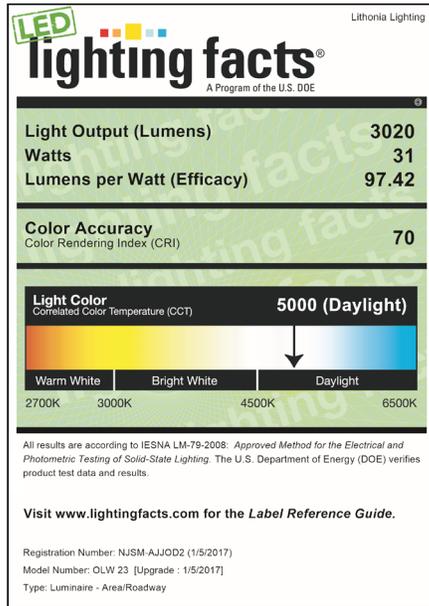
Notes

1 Correlated Color Temperature (CCT) shown is nominal per ANSI C78,377-2008.

OLW LED Wall Light

PHOTOMETRICS

Full photometric data report available within 2 weeks from request. Consult factory.
Tested in accordance with IESNA LM-79 and LM-80 standards.





PG

Indoor/Outdoor Emergency Lighting Unit

FEATURES

Application

The PG is an indoor/outdoor, die-cast architectural emergency unit. It is a wet location listed, emergency luminaire with high-output LED technology that provides path of egress illumination for mounting over entrance/exit ways and perimeter walkways. Spectron® self-testing/self-diagnostic electronics are included standard. A battery heater for cold temperature operation is available as an option.

Construction

Housing and mounting plate are constructed of 0.125" die-cast aluminum and 0.125" closed-cell, medium density, neoprene gasket. The acrylic lens allows 92% light transmission. The reflector is electro-polished aluminum with 95% reflectance. Housing finish is powder coated electro-deposition paint available in four colors: dark bronze, white, platinum silver and black.

Installation

Universal housing knockouts for mounting to standard 3 1/2" and 4" octagon and 4" square electrical boxes. A 1/2" - 1/4 NPT threaded conduit opening is provided at the top of the housing and sealed with a closure plug. The back plate mounts to the wall surface using installer supplied hardware. The housing "snaps" to the back plate by a "pin and socket" arrangement, and is secured with two Fillister head screws. AC Lockout feature prevents battery discharge prior to initial unit power-up saving installation time.

Lamps

Four high-output, long life LED lamps arranged in redundant pairs.

Compliances

- UL 924 Listed (emergency models only)
- UL Wet Location Listed
- NFPA 101 Life Safety Code
- NFPA 70 National Electrical Code
- OSHA
- U.S. Patent No. D627916.

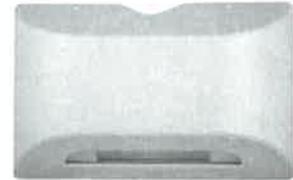
Warranty

Three-years full for unit, electronics and battery.

ORDERING GUIDE

PG	W	-	HTR
Series	Finish		Options
	W White Z Dark Bronze P Platinum Silver B Black		HTR Battery Heater (Add Suffix to Model)

Catalog Number	
Comments	Type



White



Dark Bronze



Platinum Silver



Black

Reference "Remote Heads and Fixtures" specification sheet for information on matching PG remote



PGR Remote LED



Hubbell Lighting, Inc.

TYPICAL RTUs



PRODUCT SPECIFICATIONS

LANDMARK®

Performance Marked by Flexibility™

PACKAGED GAS/ELECTRIC

KGB

Landmark® Rooftop Units Standard and High Efficiency - 60 HZ

Bulletin No. 210786
July 2018
Supersedes June 2018



FINAL UNIT SIZES TO BE DETERMINED
PER TENANT, SUBMIT IN PERMIT
APPLICATION



**ASHRAE 90.1
COMPLIANT**

2 to 7.5 Tons

**Net Cooling Capacity - 24,200 to 88,000 Btuh
Gas Input Heat Capacity - 65,000 to 150,000 Btuh**

MODEL NUMBER IDENTIFICATION

K G B 060 S 4 B S 1 Y

Brand/Family
K = Landmark® Product Line

Unit Type
G = Packaged Gas Heat w/ Electric Cooling

Major Design Sequence
B = 2nd Generation

Nominal Cooling Capacity - Tons
024 = 2 Tons
030 = 2.5 Tons
036 = 3 Tons
048 = 4 Tons
060 = 5 Tons
072 = 6 Tons
074 = 6 Tons
090 = 7.5 Tons

Cooling Efficiency
H = High Efficiency
S = Standard Efficiency

Refrigerant Type
4 = R-410A

Voltage
P = 208/230V-1 phase-60hz
Y = 208/230V-3 phase-60hz
G = 460V-3 phase-60hz
J = 575V-3 phase-60hz

Minor Design Sequence
1 = 1st Revision
2 = 2nd Revision
3 = 3rd Revision

Heating Type
S = Standard Gas Heat, 1 stage
M = Medium Gas Heat, 1 stage
U = Medium Gas Heat, 2 Stage
T = High Gas Heat, 1 Stage
H = High Gas Heat, 2 Stage
W = Standard Gas Heat, 1 Stage, Low NOx
B = Standard Gas Heat, 2 Stage Low NOx
Y = Medium Gas Heat, 1 Stage, Low NOx
Q = Medium Gas Heat, 2 Stage, Low NOx
Z = High Gas Heat, 1 Stage, Low NOx
X = High Gas Heat, 2 Stage, Low NOx

Blower Type
D = Direct Drive
B = Belt Drive
T = Belt Drive (2 Speed)

TYPICAL